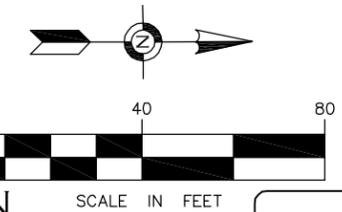


KENNEDY SQUARE TOWNHOMES

XXXX 11TH AVENUE EAST, MAPLEWOOD, MINNESOTA

CIVIL DESIGN PLANS FOR:

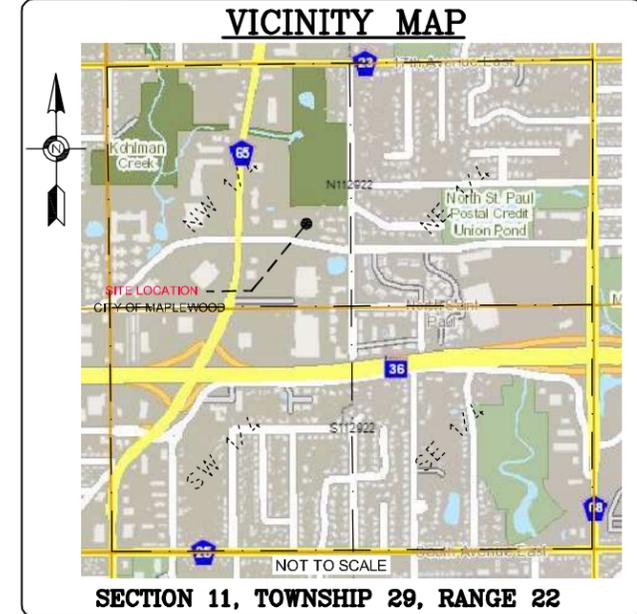
PROPOSED BUILDING, TREE PRESERVATION PLAN, STORM WATER MANAGEMENT PLAN



Call 48 Hours before digging
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 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



PROJECT LOCATION
 COUNTY: RAMSEY
 CITY: MAPLEWOOD



CONTACTS

OWNER NAME
 RASHAD KENNEDY
 KENNEDY PROPERTY
 DEVELOPMENT
 PHONE (651) 372-2360
 CELL. (651) 529-5593
 rashad@thatpropertyplace.net

CITY PLANNER
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 1830 COUNTY RD B E,
 MAPLEWOOD, MN 55109
 (651) 249-2302
 elizabeth.hammond@maplewoodmn.gov

ASSISTANT CITY ENGINEER
 JON JAROSCH
 1902 COUNTY ROAD B E
 MAPLEWOOD, MN 55109
 (651) 249-2405
 jon.jarosch@maplewoodmn.gov

ARCHITECTOR
 TODD OFSTHUN
 P.O NBOX 41790
 PLYMOUTH, MN 55442
 (952)-994-8276
 todd@tcodesign.net

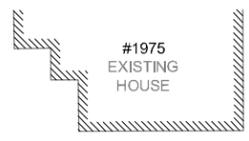
ENGINEER / SURVEYOR
 VLADIMIR SIVRIVER
 ENGINEERING DESIGN &
 SURVEYING, INC.
 6480 WAYZATA BLVD.
 MINNEAPOLIS, MN 55426
 PHONE (763) 545-2800
 FAX (763) 545-2801
 info@edsmn.com

BUILDING SETBACKS
 ZONING: LBC = LIMITED BUSINESS
 COMMERCIAL

REFERENCE BENCHMARK
 ELEVATION = 945.72 (NAVD 88) MNDOT
 DISK "6211".



PARCLE ID : 112922240028



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- C1.....TITLE SHEET
- C2.....EXISTING TOPOGRAPHY
- C3.....SITE PLAN AND DIMENSION PLAN
- C4.....GRADING, DRAINAGE & EROSION CONTROL PLAN
- C5.....GRADING, DRAINAGE & EROSION CONTROL NOTES
- C6.....UTILITY PLAN
- C7.....STORM WATER MANAGEMENT PLAN
- C8.....STORM WATER MANAGEMENT NOTES
- C9.....TREE PRESERVATION PLAN
- C10.....LANDSCAPE PLAN
- C11.....INFILTRATION TRENCH DETAILS
- C12.....STREET, UTILITY AND EROSION CONTROL DETAILS
- C13.....TREE DETAILS
- C14.....EXISTING DRAINAGE AREAS
- C15.....PROPOSED DRAINAGE AREAS

PROPOSED LEGEND

- DENOTES PROPOSED TOWNHOMES
- DENOTES PROPOSED BITUMINOUS DRIVEWAY
- DENOTES PROPOSED CONCRETE SIDEWALK
- DENOTES PROPOSED BITUMINOUS ROAD
- DENOTES PROPOSED CONCRETE ROAD
- DENOTES PROPOSED TRAFFIC FLOW
- DENOTES PROPOSED DRAINAGE FLOW

LEGAL DESCRIPTION
 Section 11, Township 29, Range 22 except the North 278.94 feet:
 except the West 96.50 feet and except the East 403.00 feet of
 Northeast 1/4 of Southeast 1/4 of Northwest 1/4 in Section 11,
 Township 29, Range 22,(subject to road)
 Ramsey County, Minnesota, according to the recorded plat thereof.

ENGINEERING DESIGN & SURVEYING
 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

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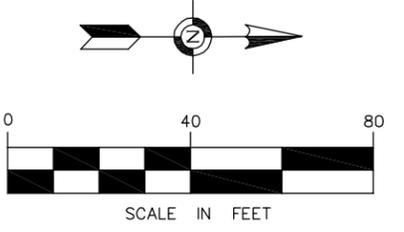
Vlad Sivriver
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 03/23/2023

TITLE SHEET
 LOCATION: XXXX 11TH AVENUE
 MAPLEWOOD, MN 55109-5149

FIELD WORK DATE: 08/19/2022 DRAWN BY: IS PROJECT NO.: 22-142
 FIELD BOOK NO.: EDS-15 CHECKED BY: VS SHEET NO. C1

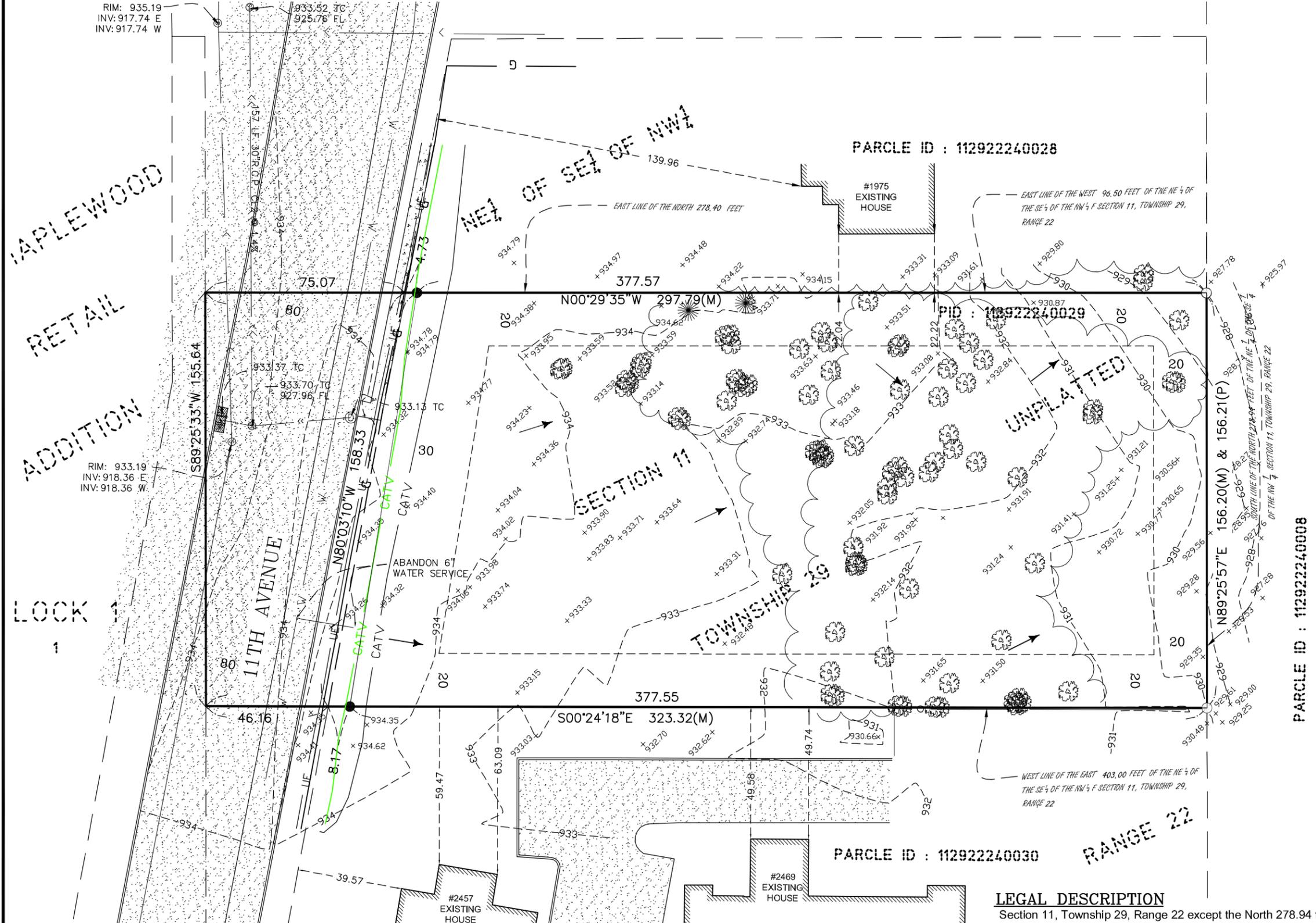
EXISTING TOPOGRAPHY

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 MN. Toll Free 1-800-252-1166



- LEGEND**
- DENOTES FOUND PROPERTY IRON
 - DENOTES BOUNDARY LINE
 - - - DENOTES LOT LINE
 - - - DENOTES SETBACK LINE
 - x999.99 DENOTES EXISTING SPOT ELEVATION
 - ▭ DENOTES CONCRETE SURFACE
 - ▨ DENOTES BITUMINOUS SURFACE
 - DENOTES TREE LINE
 - DENOTES DECIDUOUS TREE
 - DENOTES CHAINLINK FENCE
 - (M) DENOTES MEASURED DISTANCE
 - (P) DENOTES PLATTED DISTANCE
 - ⊙ DENOTES SANITARY MANHOLE
 - ▣ DENOTES STORM CATCH BASIN (SQUARE)
 - ⊕ DENOTES STORM CATCH BASIN (ROUNDED)
 - DENOTES DRAINAGE FLOW
 - UE — DENOTES UG ELECTRIC
 - CATV — DENOTES UG CABLE COMCAST TV
 - CATV — DENOTES UG CABLE CENTURYLINK TV
 - G — DENOTES UG GAS LINE
 - S — DENOTES STORM SEWER
 - S — DENOTES SANITARY SEWER
 - W — DENOTES WATER LINE

- NOTES**
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PARCILE ID : 112922240008

BUILDING SETBACKS
 ZONING: LBC = LIMITED BUSINESS COMMERCIAL

EXISTING HARDCOVER
 EXISTING IMPERVIOUS AREA 0 SQ.FT.
 TOTAL LOT AREA 48,436 SQ.FT.
 EXISTING HARDCOVER 0 %

REFERENCE BENCHMARK
 ELEVATION = 945.72 (NAVD 88) MNDOT DISK "6211".

LEGAL DESCRIPTION
 Section 11, Township 29, Range 22 except the North 278.94 feet except the West 96.50 feet and except the East 403.00 feet of Northeast 1/4 of Southeast 1/4 of Northwest 1/4 in Section 11, Township 29, Range 22, (subject to road) Ramsey County, Minnesota, according to the recorded plat thereof.

NO.	DATE	DESCRIPTION	BY

EDS ENGINEERING DESIGN & SURVEYING
 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

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Vlad Sivriver
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 03/23/2023

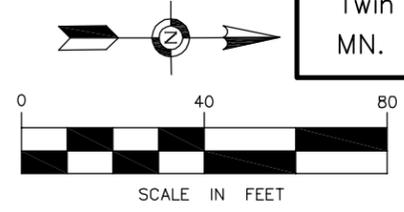
JOB NAME: **RASHAD KENNEDY**
 LOCATION: 0 11TH AVENUE MAPLEWOOD, MN 55109-5149

FIELD WORK DATE: 08/19/2022
 FIELD BOOK NO.: EDS-15

DRAWN BY: GST
 CHECKED BY: VS
 PROJECT NO.: 22-142
 SHEET NO. C2

SITE AND DIMENSION PLAN

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LEGEND

- DENOTES FOUND PROPERTY IRON
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- DENOTES CONCRETE SURFACE
- 999 - - - DENOTES EXISTING CONTOUR LINE
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NO.	DATE	DESCRIPTION	BY

BUILDING SETBACKS
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EXISTING HARDCOVER
 TOTAL IMPERVIOUS AREA 0 SQ.FT.
 TOTAL LOT AREA 48,436 SQ.FT.
 EXISTING HARDCOVER 0%

REFERENCE BENCHMARK
 ELEVATION = 945.72 (NAVD 88) MNDOT DISK "6211".

PROPOSED HARDCOVER
 PROPOSED TOWNHOMES 11,328 SQ.FT.
 PROPOSED CONCRETE SIDEWALK 1,168 SQ.FT.
 PROPOSED BITUMINOUS DRWY'S 5,072 SQ.FT.
 PROPOSED BITUMINOUS PARKING 684 SQ.FT.
 PROPOSED BITUMINOUS ROAD 8,887 SQ.FT.
 TOTAL IMPERVIOUS AREA 27,139 SQ.FT.
 TOTAL LOT AREA 48,436 SQ.FT.
 PROPOSED HARDCOVER 56.0 %

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PARCLE ID : 112922240030

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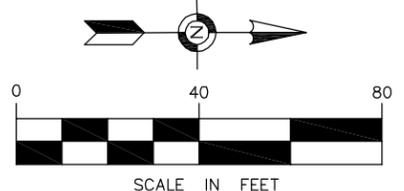
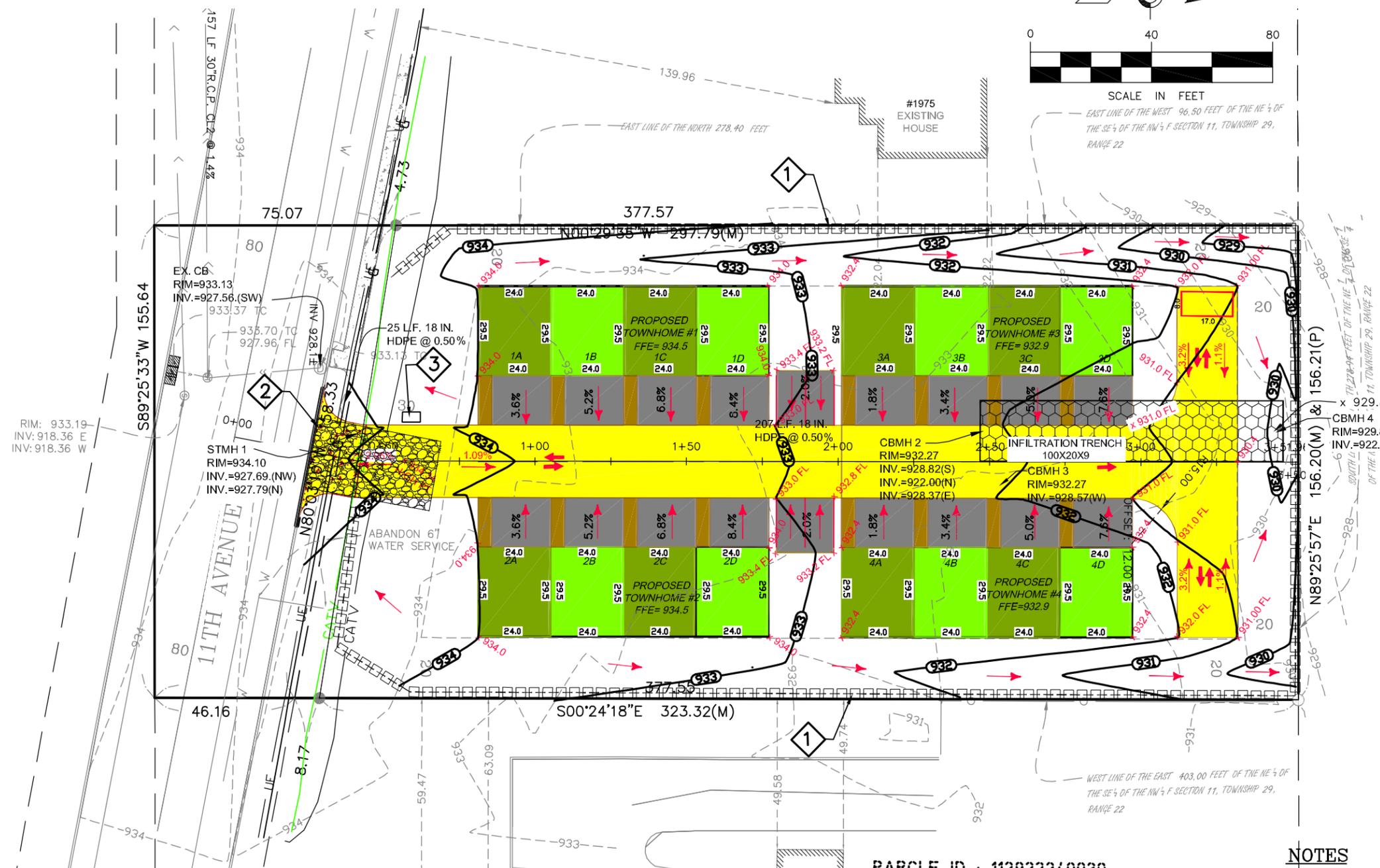
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Vlad Sivriver
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 03/23/2023

SITE AND DIMENSION PLAN
 LOCATION: XXXX 11TH AVENUE
 MAPLEWOOD, MN 55109-5149

FIELD WORK DATE: 08/19/2022 DRAWN BY: IS PROJECT NO.: 22-142
 FIELD BOOK NO.: EDS-15 CHECKED BY: VS SHEET NO. C3

GRADING, DRAINAGE AND EROSION CONTROL PLAN

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- LEGEND**
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 - DENOTES PROPOSED CONCRETE ROAD
 - DENOTES PROPOSED TRAFFIC FLOW
 - DENOTES PROPOSED DRAINAGE FLOW
 - x 932.4 DENOTES PROPOSED GRADE
 - x 932.94 FL DENOTES PROPOSED GRADE AT FLOWLINE
 - 933 DENOTES PROPOSED CONTOUR
 - DENOTES PROPOSED SILT FENCE
 - DENOTES PROPOSED EROSION CONTROL LOGS
 - DENOTES PROPOSED INFILTRATION TRENCH
 - DENOTES PROPOSED ROCK ENT.

BUILDING SETBACKS
 ZONING: LBC = LIMITED BUSINESS COMMERCIAL

REFERENCE BENCHMARK
 ELEVATION = 945.72 (NAVD 88) MNDOT DISK "6211".

PROPOSED HARDCOVER

PROPOSED TOWNHOMES	11,328 SQ.FT.
PROPOSED CONCRETE SIDEWALK	1,168 SQ.FT.
PROPOSED BITUMINOUS DRWY'S	5,072 SQ.FT.
PROPOSED BITUMINOUS PARKING	684 SQ.FT.
PROPOSED BITUMINOUS ROAD	8,887 SQ.FT.
TOTAL IMPERVIOUS AREA	27,139 SQ.FT.
TOTAL LOT AREA	48,436 SQ.FT.
PROPOSED HARDCOVER	56.0 %

- NUMBERED NOTES**
- 1 INSTALL SILT FENCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
 - 2 INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
 - 3 INSTALL SWMP BOX NEAR THE CONSTRUCTION ENTRANCE.

- NOTES**
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NO.	DATE	DESCRIPTION	BY

GRADING, DRAINAGE AND EROSION CONTROL NOTES

GRADING NOTES

1. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
2. SUITABLE GRADING MATERIAL SHALL CONSIST OF ALL SOIL ENCOUNTERED ON THE SITE WITH EXCEPTION OF TOPSOIL DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL. STOCKPILE TOPSOIL AND GRANULAR FILL AT LOCATIONS DIRECTED BY CONTRACTOR.
3. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF THE EXISTING PAVEMENT.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
5. GRADES SHOWN ARE FINISHED GRADES, CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION.
6. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OFF THE CONSTRUCTION SITE.
8. COMPLETION OF SITE GRADING OPERATIONS SHALL RESULT IN ALL AREAS BEING GRADED TO 'PLAN SUBGRADE ELEVATION'. THE PARKING LOT AND DRIVEWAY AREAS SHALL BE DETERMINED BY REFERRING TO THE SITE PLAN AND PAVEMENT SECTION DETAILS FOR LOCATION AND LIMITS OF BITUMINOUS PAVEMENT SECTIONS.
9. THE MINIMUM GRADED SLOPE FROM EDGE OF BUILDING SHALL BE 6 INCHES IN 10 FEET.
10. FINISHED GROUND AND SOD ELEVATION ADJACENT TO BUILDING SHALL BE 6" BELOW FLOOR ELEVATION. SLOPE GROUND AWAY FROM BUILDING A MINIMUM OF 6" IN 10 FEET BEYOND 10 FEET REFER TO PLAN GRADES.
11. CONTRACTOR IS RESPONSIBLE FOR GRADING AND SLOPING THE FINISHED GROUND SURFACE TO PROVIDE SMOOTH & UNIFORM SLOPES, WHICH PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND PREVENT PONDING IN LOWER AREAS. CONTACT ENGINEER IF FIELD ADJUSTMENTS TO GRADING PLANS ARE REQUIRED.
12. CONTRACTOR SHALL REMOVE ONLY THOSE TREES MARKED IN THE FIELD VERIFY WITH ENGINEER PRIOR TO REMOVAL.
13. ALL GRADING SHALL BE ACCORDING TO MnDOT 2105.
14. EXISTING CURB CUTS SHALL BE REMOVED AND REPLACED WITH CURB AND GUTTER PER CITY STANDARD DETAILS (AND SPECIFICATIONS) .

GRADING, TURF ESTABLISHMENT & EROSION CONTROL SPECIFICATIONS

TURF ESTABLISHMENT

ALL TURF ESTABLISHMENT SHALL BE ACCORDING TO MnDOT 2575 AND SHALL TAKE PLACE WITHIN 10 DAYS OF THE COMPLETED GRADING OPERATION.

TOPSOIL

CONTRACTOR SHALL STRIP, STOCKPILE AND RE-SPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM 4 INCH DEPTH (COMPACTED) TO ALL DISTURBED AREAS, TO BE SODDED OR SEEDED.

SOD

SOD SHALL BE ACCORDING TO MnDOT 3878.

SEEDING

SEED MIX SHALL BE MnDOT 50B AT 100# PER ACRE. DORMANT SEEDING AFTER NOVEMBER 1, AT TWICE THE NORMAL RATE.

MULCHING

MULCH SHALL BE MnDOT TYPE 1. STRAW SHOULD BE SPREAD UNIFORMLY AT A RATE OF 2 TONS PER ACRE AND ANCHORED WITH EITHER NETTING OR A STRAIGHT DISC.

FERTILIZER

TYPE 20-0-10 AT 400# PER ACRE.

GRADING

ALL GRADING SHALL BE ACCORDING TO MnDOT 2105.

SEDIMENT & EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR THE CLEANLINESS OF THE SITE AND THE MAINTENANCE OF THE EROSION AND SEDIMENT CONTROLS.
2. THE STREET WILL BE SWEEPED CLEAN BEFORE THE END OF EACH DAY OF ACTIVE CONSTRUCTION, WHEN SEDIMENT IS TRACKED INTO THE STREET.
3. AREAS WITH SLOPES GREATER THAN 3 TO 1 AND AREAS NEXT TO WETLANDS/WATERBODIES GRADED OR EXPOSED DURING CONSTRUCTION SHALL BE PROTECTED WITH TEMPORARY VEGETATION, MULCHING, OR OTHER MEANS AS SOON AS PRACTICAL.
4. ALL EXPOSED SOIL AREAS WILL BE STABILIZED AS SOON AS PRACTICAL. UNWORKED SOILS THAT REMAIN EXPOSED AND NOT IN USE FOR LONGER THAN 14 DAYS WILL BE COVERED WITH TEMPORARY SEED (GRASS, OATS, OR WHEAT).
5. NO CONCRETE WASHOUT SHALL OCCUR ON SITE UNLESS IT IS DONE WITH AN APPROVED MINNESOTA POLLUTION CONTROL AGENCY (MPCA) DEVICE OR STANDARD.
6. STOCKPILES SHALL BE SURROUNDED WITH ADEQUATE PERIMETER CONTROL TO PREVENT SEDIMENTATION AND EROSION.
7. INLET PROTECTION FOR ALL STORM SEWER INLETS DOWNSTREAM OF THE SITE WITHIN ONE BLOCK OR AS DIRECTED BY THE CITY.
8. SITE SHALL BE KEPT CLEAN AT ALL TIMES AND REFUSE PROPERLY CONTROLLED.
9. TEMPORARY PUMPING SHALL NOT BE PERMITTED WITHOUT THE USE OF AN APPROVED MINNESOTA POLLUTION CONTROL AGENCY (MPCA) DEVICE OR STANDARD.
10. SOIL COMPACTION SHALL BE MINIMIZED; AREAS OF COMPACTED SOIL WILL BE REMOVED OR LOOSENED VIA TILLING TO A DEPTH OF NO LESS THAN 6-INCHES.
11. THE CONTRACTOR SHALL INSPECT ON A WEEKLY BASIS AND AFTER ANY RAINFALL GREATER THAN 1" ALL EROSION CONTROL DEVICES AND MAKE ANY REPAIRS IMMEDIATELY. AN INSPECTION LOG SHALL BE KEPT ON SITE DETAILING THESE INSPECTIONS AND REPAIRS PERFORMED.

GENERAL NOTES

1. SEE SWMP NOTES ON SHEET C8 FOR FURTHER SWMP REQUIREMENTS, IN CASE OF CONFLICT BETWEEN THIS PLAN AND SWMP NOTES, THE SWMP NOTES SHALL OVERRULE.
2. ALL EROSION CONTROL MEASURES MUST BE INSTALLED AT THE INITIAL STAGES OF CONSTRUCTION AND MAINTAINED UNTIL ALL AREAS ALTERED HAVE BEEN RESTORED.
3. ALL REAR YARD AREAS OF LOTS AT SETBACK LINE ARE TO BE MULCHED AND SEEDED WITHIN 14 DAYS OF GRADING BY GRADING CONTRACTOR. ALL AREAS BETWEEN THE CURB AND SETBACK LINE ARE TO BE MULCHED AND SEEDED WITHIN 14 DAYS OF PRIVATE UTILITY INSTALLATION BY THE UTILITY CONTRACTOR.
4. STREET SWEEPING MUST BE UNDERTAKEN ON AN AS-NEEDED BASIS.
5. PERFORM SEEDING FOR FINAL STABILIZATION OF DISTURBED AREA AS FOLLOWS:
 - a. REPLACE TOPSOIL TO PROVIDE A UNIFORM THICKNESS. LOOSEN TOPSOIL TO MINIMUM DEPTH OF 3".
 - b. APPLY COMMERCIAL GRADE SLOW RELEASE FERTILIZER PER 1,000 SQUARE FEET.
 - c. INCORPORATE FERTILIZER INTO SOIL BY USE OF HARROW OR OTHER MEANS TO PLACE FERTILIZER BELOW GROUND LEVEL.



ENGINEERING DESIGN & SURVEYING
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Vlad Sivriver
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 03/23/2023

GRADING, DRAINAGE AND EROSION CONTROL NOTES

LOCATION: XXXX 11TH AVENUE
 MAPLEWOOD, MN 55109-5149

FIELD WORK DATE: 08/19/2022

DRAWN BY: IS

PROJECT NO.: 22-142

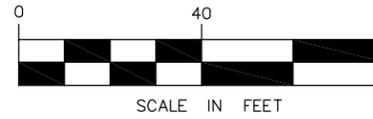
FIELD BOOK NO.: EDS-15

CHECKED BY: VS

SHEET NO. C5



UTILITY PLAN



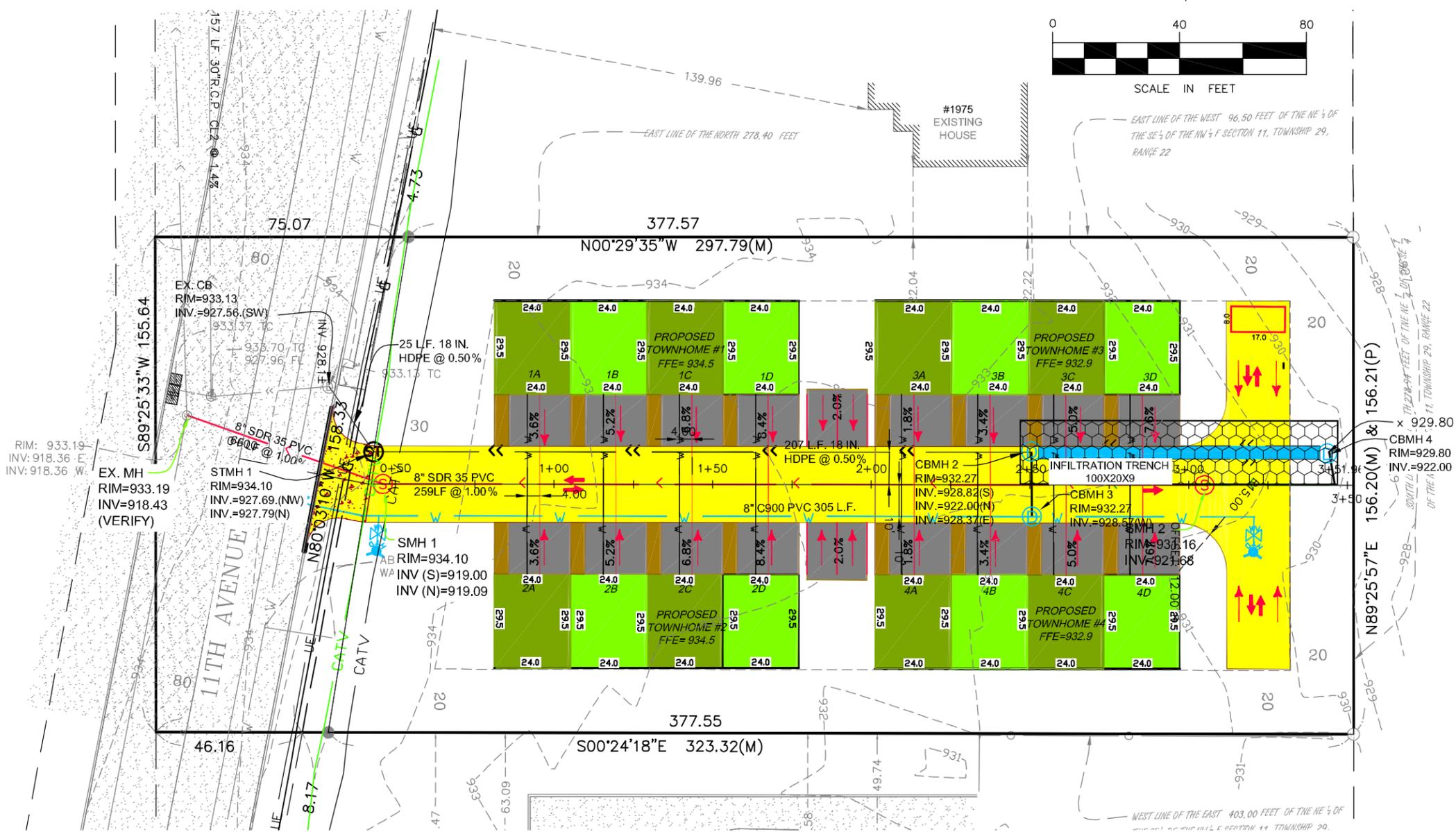
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- DENOTES BITUMINOUS SURFACE
- DENOTES TREE LINE
- DENOTES DECIDUOUS TREE
- DENOTES CHAINLINK FENCE
- (M) DENOTES MEASURED DISTANCE
- (P) DENOTES PLATTED DISTANCE
- ⊙ DENOTES SANITARY MANHOLE
- DENOTES STORM CATCH BASIN (SQUARE)
- ← DENOTES DRAINAGE FLOW
- UE— DENOTES UG ELECTRIC
- CATV— DENOTES UG CABLE COMCAST TV
- CATV— DENOTES UG CABLE CENTURYLINK TV
- G— DENOTES UG GAS LINE
- >>— DENOTES STORM SEWER
- >>— DENOTES SANITARY SEWER
- W— DENOTES WATER LINE

PROPOSED LEGEND

- DENOTES PROPOSED TOWNHOMES
- DENOTES PROPOSED BITUMINOUS DRIVEWAY
- DENOTES PROPOSED CONCRETE SIDEWALK
- DENOTES PROPOSED BITUMINOUS ROAD
- DENOTES PROPOSED CONCRETE ROAD
- ← DENOTES PROPOSED TRAFFIC FLOW
- ← DENOTES PROPOSED DRAINAGE FLOW
- x 932.4 DENOTES PROPOSED GRADE
- x 932.94 FL DENOTES PROPOSED GRADE AT FLOWLINE
- 933— DENOTES PROPOSED CONTOUR
- DENOTES PROPOSED INFILTRATION TRENCH
- >>— DENOTES PROPOSED STORM SEWER
- >>— DENOTES PROPOSED SANITARY SEWER
- W— DENOTES PROPOSED WATER LINE



MATERIALS

WATER	
-WATERMAIN	8" C900 PVC PIPE
-WATER SERVICE	2" C900 PVC PIPE
SANITARY	
-SANITARY MAIN	8" SDR 35 PVC PIPE
-SANITARY SERVICE	4" SDR 40 PVC PIPE SCHEDULE 40

PROPOSED HARDCOVER

PROPOSED TOWNHOMES	11,328 SQ.FT.
PROPOSED CONCRETE SIDEWALK	1,168 SQ.FT.
PROPOSED BITUMINOUS DRWY'S	5,072 SQ.FT.
PROPOSED BITUMINOUS PARKING	684 SQ.FT.
PROPOSED BITUMINOUS ROAD	8,887 SQ.FT.
TOTAL IMPERVIOUS AREA	27,139 SQ.FT.
TOTAL LOT AREA	48,436 SQ.FT.
PROPOSED HARDCOVER	56.0 %

CONSTRUCTION NOTES

- CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" WITHIN TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS. TWIN CITIES METRO AREA: 651-454-0002 OR TOLL-FREE: 1-800-252-1166.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND INVERTS, SHOWN OR NOT SHOWN. ANY DISCREPANCY BETWEEN PLANS AND FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- THE UTILITY CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF THE BUILDING PIPE SYSTEM PRIOR TO CONSTRUCTING SERVICE CONNECTIONS.
- ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MAPLEWOOD SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- UTILITY TRENCHES SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698.78 OR AASHTO T-99) FROM THE PIPE ZONE TO WITHIN THREE FEET OF THE GROUND SURFACE AND 100% STANDARD PROCTOR IN THE UPPER THREE FEET.
- FIELD ADJUST ALL CASTINGS TO MATCH FINAL GRADES.
- THE EXISTING BITUMINOUS PAVEMENT SHALL BE SAWCUT IN ACCORDANCE WITH Mn/DOT SPECIFICATIONS.
- CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING THE APPROPRIATE SEWER, WATER AND PLUMBING PERMITS FROM THE CITY'S BUILDING DEPARTMENT. CONTACT UTILITIES DIVISION.
- EXISTING SANITARY SEWER AND WATERMAIN STUBS SHALL BE USED FOR UTILITY CONNECTIONS AS REQUIRED.
- GENERAL CONTRACTOR SHALL COORDINATE WORK WITH ALL UTILITY COMPANIES.
- ALL SANITARY SEWER TO BE 8" PVC, SDR26 @ 0.50% GRADE UNLESS OTHERWISE NOTED. ALL WATERMAIN TO BE FROM 6" TO 8" C900 PVC DR 18 WITH 8" MINIMUM AND 10" MAXIMUM COVER.
- ALL WATERMAIN AND SANITARY SEWER SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF 10'. WATERMANS SHALL HAVE AN 18 INCH VERTICAL SEPARATION FROM STORM OR SANITARY SEWER AT ALL CROSSINGS.
- ALL HYDRANT BARRELS SHALL BE WRAPPED WITH POLYETHYLENE ENCASUREMENT.

SEPARATION/LOCATION NOTES

- 10' TYPICAL SEPARATION BETWEEN SANITARY MAIN AND WATER MAIN.
- 4' TYPICAL SEPARATION BETWEEN SANITARY SERVICE AND WATER SERVICE.
- HYDRANTS LOCATED 5' FROM BACK OF CURB.
- WYE STATIONED FROM DOWNSTREAM MANHOLE.
- SEE SHEET C12 FOR TYPICAL SANITARY SERVICE AND CURB STOP LOCATION.

LEGAL DESCRIPTION
 Section 11, Township 29, Range 22 except the North 278.94 feet: except the West 96.50 feet and except the East 403.00 feet of Northeast 1/4 of Southeast 1/4 of Northwest 1/4 in Section 11, Township 29, Range 22, (subject to road) Ramsey County, Minnesota, according to the recorded plat thereof.

NOTES

- THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
- NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED.
- CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS.
- NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
- EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.

NO.	DATE	DESCRIPTION	BY

EDS ENGINEERING DESIGN & SURVEYING
 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

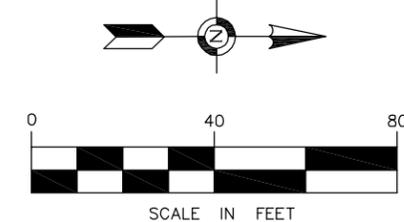
Vlad Sivriver
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 03/23/2023

UTILITY PLAN
 LOCATION: XXXX 11TH AVENUE
 MAPLEWOOD, MN 55109-5149

FIELD WORK DATE: 08/19/2022	DRAWN BY: IS	PROJECT NO.: 22-142
FIELD BOOK NO.: EDS-15	CHECKED BY: VS	SHEET NO. C6

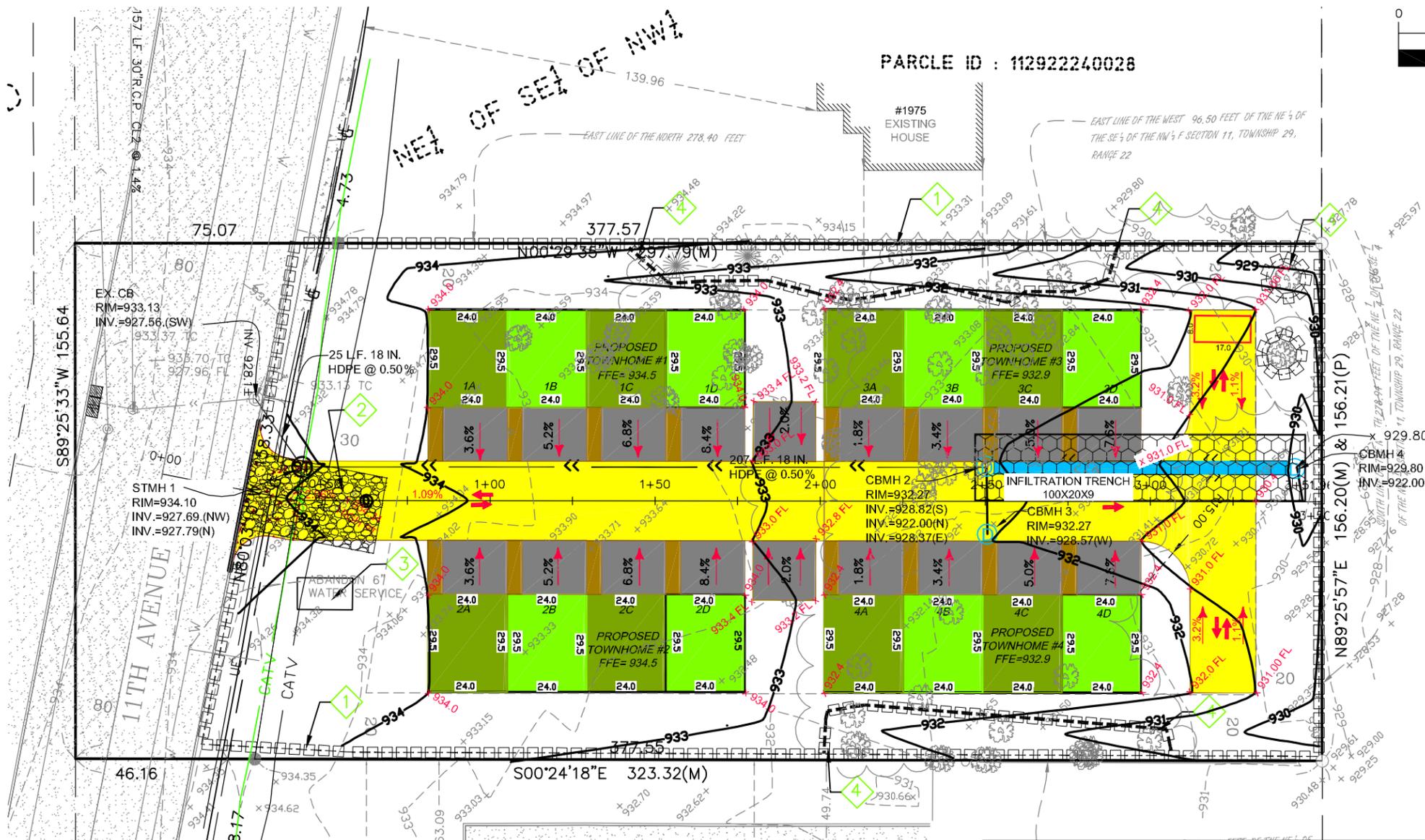
STORMWATER MANAGEMENT PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- x999.99 DENOTES EXISTING SPOT ELEVATION
- DENOTES CONCRETE SURFACE
- - - 999 DENOTES EXISTING CONTOUR LINE
- DENOTES BITUMINOUS SURFACE
- DENOTES TREE LINE
- DENOTES DECIDUOUS TREE
- DENOTES CHAINLINK FENCE
- (M) DENOTES MEASURED DISTANCE
- (P) DENOTES PLATTED DISTANCE
- DENOTES SANITARY MANHOLE
- DENOTES STORM CATCH BASIN (SQUARE)
- DENOTES DRAINAGE FLOW



PARCLE ID : 112922240008

PROPOSED HARDCOVER	
PROPOSED TOWNHOMES	11,328 SQ.FT.
PROPOSED CONCRETE SIDEWALK	1,168 SQ.FT.
PROPOSED BITUMINOUS DRWY'S	5,072 SQ.FT.
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TOTAL IMPERVIOUS AREA	27,139 SQ.FT.
TOTAL LOT AREA	48,436 SQ.FT.
PROPOSED HARDCOVER	56.0 %

LEGAL DESCRIPTION
 Section 11, Township 29, Range 22 except the North 278.94 feet: except the West 96.50 feet and except the East 403.00 feet of Northeast 1/4 of Southeast 1/4 of Northwest 1/4 in Section 11, Township 29, Range 22, (subject to road) Ramsey County, Minnesota, according to the recorded plat thereof.

- ### NUMBERED NOTES
- 1 INSTALL SILT FENCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
 - 2 INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
 - 3 INSTALL SWMP BOX NEAR THE CONSTRUCTION ENTRANCE.
 - 4 TREE PROTECTION DEVICE

- ### PROPOSED LEGEND
- DENOTES PROPOSED TOWNHOMES
 - DENOTES PROPOSED BITUMINOUS DRIVEWAY
 - DENOTES PROPOSED CONCRETE SIDEWALK
 - DENOTES PROPOSED BITUMINOUS ROAD
 - DENOTES PROPOSED CONCRETE ROAD
 - DENOTES PROPOSED TRAFFIC FLOW
 - DENOTES PROPOSED DRAINAGE FLOW
 - DENOTES PROPOSED CONTOUR
 - DENOTES PROPOSED STORM SEWER
 - DENOTES PROPOSED ROCK ENT.
 - DENOTES PROPOSED SILT FENCE
 - DENOTES PROPOSED EROSION CONTROL LOGS

- ### GENERAL NOTES
1. SEE SWMP NOTES ON SHEET C8 FOR FURTHER SWMP REQUIREMENTS, IN CASE OF CONFLICT BETWEEN THIS PLAN AND SWMP NOTES, THE SWMP NOTES SHALL OVERRULE.
 2. ALL EROSION CONTROL MEASURES MUST BE INSTALLED AT THE INITIAL STAGES OF CONSTRUCTION AND MAINTAINED UNTIL ALL AREAS ALTERED HAVE BEEN RESTORED.
 3. ALL REAR YARD AREAS OF LOTS AT SETBACK LINE ARE TO BE MULCHED AND SEEDING WITHIN 14 DAYS OF GRADING BY GRADING CONTRACTOR. ALL AREAS BETWEEN THE CURB AND SETBACK LINE ARE TO BE MULCHED AND SEEDING WITHIN 14 DAYS OF PRIVATE UTILITY INSTALLATION BY THE UTILITY CONTRACTOR.
 4. STREET SWEEPING MUST BE UNDERTAKEN ON AN AS-NEEDED BASIS.
 5. PERFORM SEEDING FOR FINAL STABILIZATION OF DISTURBED AREA AS FOLLOWS:
 - a. REPLACE TOPSOIL TO PROVIDE A UNIFORM THICKNESS. LOOSEN TOPSOIL TO MINIMUM DEPTH OF 3".
 - b. APPLY COMMERCIAL GRADE SLOW RELEASE FERTILIZER PER 1,000 SQUARE FEET.
 - c. INCORPORATE FERTILIZER INTO SOIL BY USE OF HARROW OR OTHER MEANS TO PLACE FERTILIZER BELOW GROUND LEVEL.
 - d. APPLY Mn/DOT SEED MIXTURE 190 AT RATE OF 100 POUNDS PER ACRE WITH BRILLION TYPE SEEDER OR OTHER MEANS TO COVER SEED WITH 1/3" TO 3/4" OF SOIL.
 - e. APPLY UNIFORM COVERING OF Mn/DOT TYPE 1 MULCH AT A RATE OF 2 TONS PER ACRE.
 - f. ANCHOR MULCH TO DEPTH OF 2" TO 3" WITH DISC ANCHOR OR OTHER MEANS IMMEDIATELY AFTER SEEDING.

STORMWATER MANAGEMENT NOTES

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166

Storm Water Management Plan
 The work described to implement the following Storm Water Management Plan (SWMP) shall be considered part of the Contract Documents and shall be performed by the Contractor. The work to install and maintain the Best Management Practices (BMP's) to prevent erosion and provide sediment control shall be in accordance with Permit No. MN R10000f and shall include, but are not necessarily be limited to, the requirements contained herein.

1. Construction Activity Information

Project Name: KENNEDY SQUARE TOWNHOMES
 Project Address/Location: Section-Township-Range = 11-029-22
 City/Township: City of MAPLEWOOD State: MN Zip Code: 55109
 County Parcel ID Number(s): 11-029-22-24-0029
 All cities where construction will occur: City of MAPLEWOOD
 All townships where construction will occur: Not Applicable
 All counties where construction will occur: RAMSEY COUNTY
 Project Size (number of acres to be disturbed): 1.0
 Project Type: Residential Commercial/Industrial
 Road Construction Other (describe)

Cumulative Impervious Surface:
 Existing area of Impervious surface to nearest quarter acre: 0
 Post construction area of impervious surface to nearest quarter acre: 0.5
 Receiving Waters:

Name of Water Body	Type	Appendix A Special Water?
-	-	No

Dates of Construction

Estimated Construction Start Date: APRIL 2023
 Estimated Completion Date: AUGUST, 2023

Contact Information

Owner of Project Site: RASHAD KENNEDY
 Business/Firm Name: THAT PROPERTY PLACE LLC
 Federal Tax ID Number: available as needed
 State -Tax ID Number: available as needed
 Contact Person: RASHAD KENNEDY

Title: Owner
 Name: RASHAD KENNEDY
 Phone: 651-529-5593
 Mailing Address: 2136 FORD PKWY #8004,
 City: ST. PAUL
 State: MN Zip Code: 55116

Contractor (Party who will oversee implementation of the SWMP. May be same party as Owner above): RASHAD KENNEDY
 Business/Firm Name: N/A
 Federal Tax ID Number- available as needed
 State Tax ID Number- available as needed
 Contact Person: RASHAD KENNEDY

Title: Owner
 Name: RASHAD KENNEDY
 Phone: 651-529-5593
 Mailing Address: 2136 FORD PKWY #8004,
 City: ST. PAUL
 State: MN Zip Code: 55116

General Construction Project Information

Description of the construction activity (what will be built, general time/ins., etc.).

KENNEDY SQUARE TOWNHOMES. The construction activities will include grading operations for the construction of surface drainage and utilities. Roof drain sewer construction, exposed soil stabilization, and bituminous paving will follow grading operations.

2. General Site Information

Description of the location and type of all temporary and permanent erosion prevention and sediment control BMP's to be used, including the timing for installation and procedures used to establish additional temporary BMP's as necessary.

Contractor shall install and maintain the temporary and permanent erosion prevention and sediment control BMP's as shown on the accompanying drawing and as described herein. The timing shall be in accordance with the Construction Activity Sequence below and in accordance with sound and proactive construction scheduling and practices.

Accompanying this SWMP is a site plan that includes the following features:

- * Existing and proposed grades, including dividing lines and direction of flow for all pre- and post-construction stormwater runoff drainage areas located within the project limits.
- * Locations of impervious surfaces and soil types.
- * Locations of areas not to be disturbed.
- * Method(s) to be used for final stabilization of all exposed soil areas.

Description of stormwater mitigation measures required as the result of an environmental, archaeological, or other required local, state, or federal review of the project

Not applicable to this project.

Description of the type and locations of BMP's appropriate for this site and sufficient to comply with all applicable requirements of the TMDL implementation plan and identification of the receiving water and of the areas of project site discharging to an impaired water that has an approved TMDL implementation plan that contains requirements for construction Stormwater discharges:

Not applicable to this project.

Selection of Permanent Stormwater Management System

Will the project create a new cumulative impervious surface greater than or equal to one acre? Yes No

If yes, a water quality volume of 1/2 inch of runoff from this area must be treated before leaving the site or entering surface waters (1 inch of runoff from this area if discharging to special waters).

Method(s) to be used to treat runoff from the new impervious surfaces created by the project:
 Wet sedimentation basin Infiltration/Filtration basin/POND EXISTING

Regional ponds Combination of practices

Description of treatment method(s) to be used, including design information for each method:

Existing pond will be used to collect water from the roof.

Description of why it is not feasible to meet the treatment requirement for water quality volume. This can include proximity to bedrock or road projects where the lack of right-of-way precludes the installation of any permanent stormwater management practices. Description of what other treatment, such as grassed swales, smaller ponds, or grit chambers, will be implemented to treat runoff prior to discharge to surface waters:

Not Applicable

Description of how a proposed alternative method to treat runoff from new impervious surfaces will achieve approximately 80% removal of total suspended solids on an annual average basis:

Not Applicable

3. Erosion Prevention Practices

Description of construction phasing, vegetative buffer strips, horizontal slope grading, and other construction practices to be used to minimize erosion:

Stage the soil disturbing activities to minimize the amount of disturbed soil prior to stabilization. Disturbed areas will be considered stabilized when covered with materials such as anchored mulch, staked sod, rtrap, wood fiber blanket, or other materials that prevent erosion from occurring. Grass seeding alone will not be considered stabilization.

Disturb only those areas where proposed contours and elevations are shown to differ from the existing and where removals and other operations are noted. Special areas of the project site that are not to be disturbed by construction activity are noted on the plan.

Description of temporary erosion protection or permanent cover to be used for exposed positive slopes within 200 lineal feet of a surface water (stream, lake, pond, marsh, wetland, reservoir spring, river, storm water basin, storm water drainage system, waterways, water courses, and irrigation systems whether surface water is natural or artificial, public or private with maximum time an exposed soil area can remain exposed when the area is not actively being worked:

Provide year round stabilization to the above mentioned areas in accordance with the following table:

Steepness of slope (H:V)	Maximum Exposure Duration When Area Is Not Actively Worked
Greater than 3:1	7 Days
3:1 through 10:1	14 Days
Less than 10:1	21 Days

Description of practices to be used to stabilize the normal wetted perimeter of drainage or diversion ditches within 200 lineal feet of the property edge or point of discharge to a surface water within 24 hours of connecting the ditch to the surface water:

Install seed, fertilizer, and disc-anchored mulch or temporary wood fiber blanket in ditches and swales within 24 hours of connecting the ditch or swale to the surface water where shown on the plan in accordance with the details.

Description of other erosion prevention practices to be used:

Install the specified energy dissipation method, such as riprap and geotextile fabric, at pipe outlets within 24 hours of installation. Permanently seed disturbed areas prior to end of seeding dates specified by MnDOT.

4. Sediment Control Practices

Description of sediment control practices to be used to minimize sediments from entering surface waters, including curb and gutter systems and storm drain inlets:

Permanent sediment control practices to be used on this project consist of sedimentation basins. Temporary sediment control practices to be used are silt fence, culvert inlet protection, storm sewer inlet protection, stone pad exits, ditch checks, and, if necessary, street sweeping.

5. Dewatering and Basin Draining

If the project includes dewatering or basin draining, describe the BMP's to be used to prevent the discharge from adversely affecting the receiving waters and downstream landowners.

N/A

6. Additional BMP's for Special Waters and Discharges to Wetlands

This project does not discharge stormwater directly to a Special Water. This project does not discharge stormwater directly to wetlands, except roof drain 6" PVC.

7. Construction Activity Sequence

In addition to performing and sequencing the tasks associated with implementing this SWMP as described herein and shown on the plan, the Contractor shall perform construction activities in accordance with the following sequence:

- (1) Install silt fence along property line of project site where shown on plan and when property line is down gradient and within 100 feet of areas to have disturbed soil and where property line is within 20 feet of soil disturbing and other construction activities.
- (2) Install silt fence along edge of wetlands and at other locations shown on the plan.
- (3) Install stone exit pads where shown on plan and at other locations where vehicles and equipment will leave the site onto paved and gravel surfaces.
- (4) Construct storm water ponds and related piping and control structures as shown on the project plans. Install and maintain temporary erosion prevention measures as shown on the plan.
- (5) Install silt fence along bottom of storm water pond inslopes and where shown on the plan.
- (6) Install trunk sanitary sewer.
- (7) Complete earthwork activities. Install and maintain sediment control measures such as ditch checks and stormwater inlet protection.
- (8) Complete utility construction. Install and maintain sediment control measures such as inlet protection as work proceeds.
- (9) Remove silt deposits from site, remove silt deposits from stormwater basins.
- (10) Provide soil stabilization to disturbed areas by preparing topsoil, seeding, fertilizing, mulching, anchoring mulch in accordance with plans and specifications.
- (11) Remove perimeter silt fence, other silt fence, check dams, and other sediment control measures upon achieving final stabilization and Owner submits the Notice of Termination.

8. Inspections and Maintenance

Description of procedures to be taken to routinely inspect the construction site:

Contractor shall inspect erosion prevention and sediment control BMP's to ensure integrity and effectiveness. Repair, replace, or supplement non-functional BMP's to provide continually functional BMP's. Contractor shall inspect the entire construction site a minimum of once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. Inspections shall include stabilized areas, erosion prevention and sediment control BMP's, and infiltration areas. Specific tasks associated with the inspection and maintenance of the BMP's include the following:

- * Maintain and retain at the construction site written records of the inspections and maintenance performed. Records of each inspection and maintenance activity shall include: Date and time of inspection/maintenance activity; Name of person(s) Performing the activity; Finding of inspection; Recommended corrective actions; Corrective actions taken; and Date and amount of rainfall events greater than 0.5 inches in 24 hours.
- * Repair, replace, or supplement silt fences that become nonfunctional or accumulate sediment to the level of 1/3 the silt fence height or more within 24 hours of discovery or as soon as conditions allow access.
- * Drain temporary and permanent sediment basins and remove sediment when the volume of sediment collected reaches 1/2 the permanent storage volume within 72 hours of discovery or as soon as conditions allow access.
- * Inspect surface waters, drainage ditches, and stormwater conveyance systems for evidence of sediment deposited by erosion. Remove deltas and deposited sediment and restabilize areas where sediment removal results in exposed soil within seven (7) days of discovery unless precluded by legal, regulatory, or physical constraints. Removal and stabilization shall be completed within seven (7) days of obtaining access. The NPDES/SDS permit holder is responsible for contacting the local, regional, state, and federal authorities and receiving the applicable permits prior to performing this work.
- * Inspect construction site vehicle exit locations for evidence of sediment being tracked off-site onto paved surfaces. Remove tracked sediment from off-site paved surfaces within 24 hours of discovery.
- * Inspect perimeter of construction site. Remove off-site accumulations of sediment in a manner and at a frequency to minimize off-site impacts.

9. Pollution Prevention Management Measures

Contractor shall implement the following pollution prevention management measures on the site:

- * Solid Waste: Collect and properly dispose of sediment, asphalt and concrete millings, floating debris, paper, plastic, fabrics, construction and demolition debris, and other wastes in accordance with MPCA disposal requirements.
- * Hazardous Materials: Properly store, provide required secondary containment, and dispose of oil products, fuels, paint products, and other hazardous substances to prevent spills, leaks, and other discharges in accordance with MPCA regulations. Provide restricted access storage areas to prevent unauthorized access and vandalism.
- * Equipment Washing: Restrict external washing of trucks and other construction equipment to a defined area of site. Contain runoff and properly dispose of waste. Engine degreasing is prohibited on the property.
- * Spill prevention: Park construction equipment and store potentially hazardous materials in a designated area located as far as practicable from potential environmentally sensitive areas. Construct impoundment dike and take other measures required to contain spilled material. Remove and dispose of contaminated soil, vegetation, and other materials and perform other mitigation measures as required in accordance with MPCA regulations.
- * Sanitary and Septic Waste: Provide and maintain temporary facilities in accordance with MPCA and Minnesota Department of Health regulations.

10. Final Stabilization

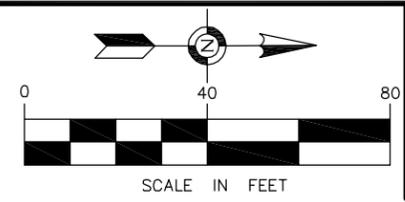
Contractor shall achieve final stabilization of the construction site by achieving the following:

- * Soil disturbing activities have been completed and soils are stabilized by a uniform perennial vegetative cover with a density of 70 percent over the entire pervious surface area or other equivalent means to prevent soil failure under erosive conditions.
- * Temporary synthetic and structural erosion prevention and sediment control BMP's are removed.
- * Sediment is removed from permanent sedimentation basins to return basins to the design capacity, removed from stormwater conveyance systems, and is stabilized or removed from the site.

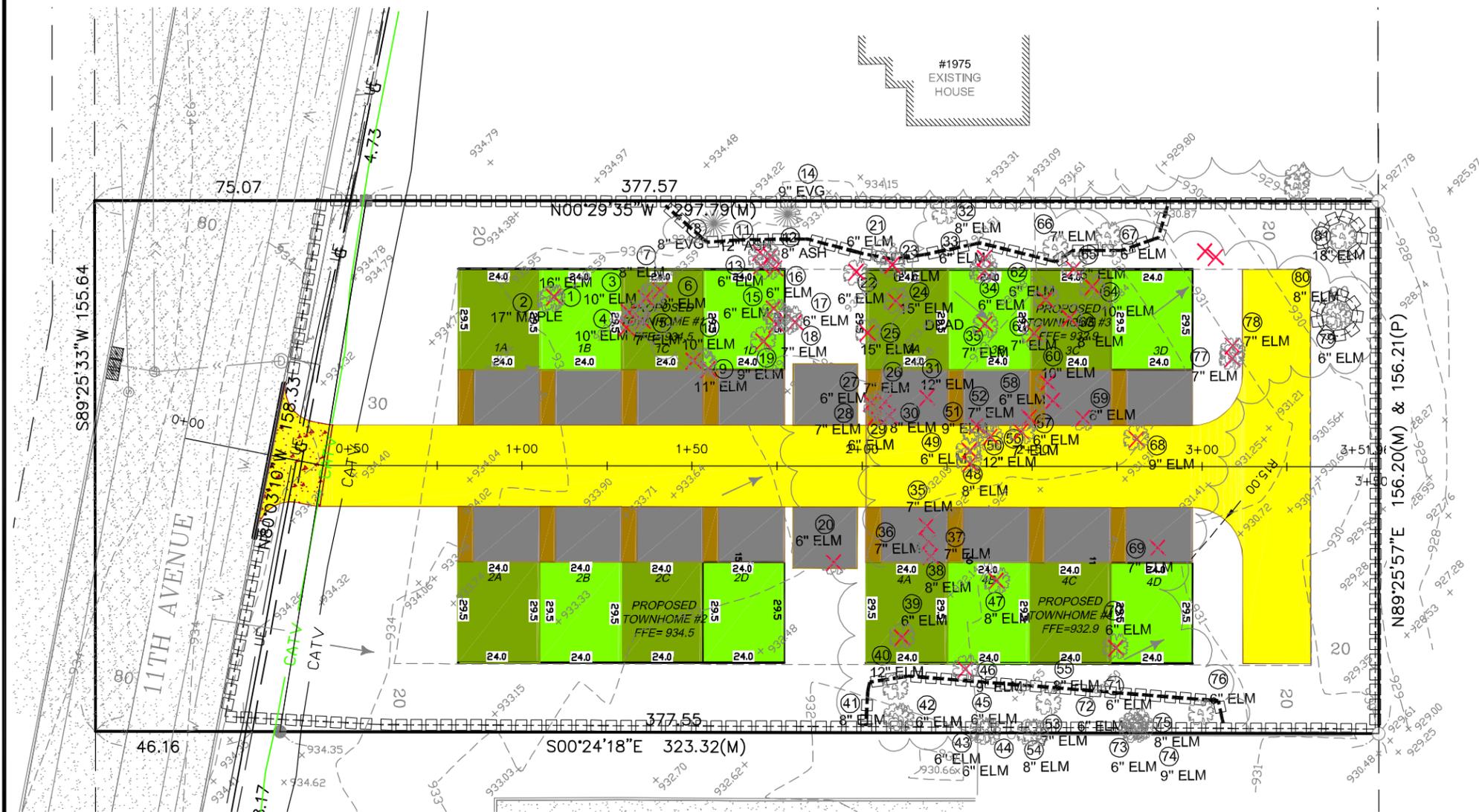
11. Notice of Termination

Contractor shall notify Owner immediately upon achieving Final Stabilization. Owner must submit the Notice of Termination within 30 days after Final Stabilization or within 30 days of another owner assuming control according to Part II.B.5, over all areas of the site that have not undergone Final Stabilization.

TREE PRESERVATION PLAN



Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



TAG #	SPECIES	DIAMETER (Inches)	CONDITION	DISTURBED/UNDISTURBED/EXEMPT
1	ELM	16	8	DISTURBED
2	MAPLE	17	8	DISTURBED
3	ELM	10	8	DISTURBED
4	ELM	10	8	DISTURBED
5	ELM	7	8	DISTURBED
6	ELM	8	8	DISTURBED
7	ELM	8	8	DISTURBED
8	EVG	8	8	UNDISTURBED
9	ELM	11	8	DISTURBED
10	ELM	10	8	DISTURBED
11	ASH	12	8	DISTURBED
12	ASH	8	8	DISTURBED
13	ELM	6	8	DISTURBED
14	EVG	9	8	UNDISTURBED
15	ELM	6	8	DISTURBED
16	ELM	6	8	DISTURBED
17	ELM	6	8	DISTURBED
18	ELM	7	8	DISTURBED
19	ELM	9	8	DISTURBED
20	ELM	6	8	DISTURBED
21	ELM	6	8	UNDISTURBED
22	ELM	6	8	DISTURBED
23	ELM	6	8	DISTURBED
24	ELM	15	DEAD	DISTURBED
25	ELM	15	8	DISTURBED
26	ELM	7	8	DISTURBED
27	ELM	6	8	DISTURBED
28	ELM	7	8	DISTURBED
29	ELM	6	8	DISTURBED
30	ELM	8	8	DISTURBED
31	ELM	12	8	DISTURBED
32	ELM	8	8	UNDISTURBED
33	ELM	6	8	DISTURBED
34	ELM	6	8	DISTURBED
35	ELM	7	8	DISTURBED
36	ELM	7	8	DISTURBED
37	ELM	7	8	DISTURBED
38	ELM	8	8	DISTURBED
39	ELM	6	8	DISTURBED
40	ELM	12	8	UNDISTURBED
41	ELM	8	8	UNDISTURBED
42	ELM	6	8	UNDISTURBED
43	ELM	6	8	UNDISTURBED
44	ELM	6	8	UNDISTURBED
45	ELM	6	8	DISTURBED
46	ELM	9	8	DISTURBED
47	ELM	8	8	DISTURBED
48	ELM	8	8	UNDISTURBED
49	ELM	6	8	DISTURBED
50	ELM	12	8	DISTURBED
51	ELM	9	8	DISTURBED
52	ELM	7	8	DISTURBED
53	ELM	7	8	UNDISTURBED
54	ELM	8	8	UNDISTURBED
55	ELM	8	8	UNDISTURBED
56	ELM	7	8	DISTURBED
57	ELM	6	8	DISTURBED
58	ELM	6	8	DISTURBED
59	ELM	6	8	DISTURBED
60	ELM	10	8	DISTURBED
61	ELM	7	8	DISTURBED
62	ELM	6	8	DISTURBED
63	ELM	8	8	DISTURBED
64	ELM	10	8	DISTURBED
65	ELM	6	8	DISTURBED
66	ELM	7	8	UNDISTURBED
67	ELM	6	8	UNDISTURBED
68	ELM	9	8	DISTURBED
69	ELM	7	8	DISTURBED
70	ELM	6	8	DISTURBED
71	ELM	6	8	UNDISTURBED
72	ELM	6	8	UNDISTURBED
73	ELM	6	8	UNDISTURBED
74	ELM	9	8	UNDISTURBED
75	ELM	8	8	DISTURBED
76	ELM	7	8	UNDISTURBED
77	ELM	7	8	DISTURBED
78	ELM	7	8	DISTURBED
79	ELM	6	8	UNDISTURBED
80	ELM	8	8	UNDISTURBED
81	ELM	18	8	UNDISTURBED
			0	EXEMPT TREES
			0	REVISED DIAMETER
			58	DISTURBED TREES
			23	UNDISTURBED TREES
			81	TOTAL TREES
			28	% SAVED

BUILDING SETBACKS

ZONING: LBC = LIMITED BUSINESS COMMERCIAL

REFERENCE BENCHMARK

ELEVATION = 945.72 (NAVD 88) MNDOT DISK "6211".

LEGAL DESCRIPTION

Section 11, Township 29, Range 22 except the North 278.94 feet: except the West 96.50 feet and except the East 403.00 feet of Northeast 1/4 of Southeast 1/4 of Northwest 1/4 in Section 11, Township 29, Range 22, (subject to road) Ramsey County, Minnesota, according to the recorded plat thereof.

PROPOSED HARDCOVER

PROPOSED TOWNHOMES	11,328 SQ.FT.
PROPOSED CONCRETE SIDEWALK	1,168 SQ.FT.
PROPOSED BITUMINOUS DRWY'S	5,072 SQ.FT.
PROPOSED BITUMINOUS PARKING	684 SQ.FT.
PROPOSED BITUMINOUS ROAD	8,887 SQ.FT.
TOTAL IMPERVIOUS AREA	27,139 SQ.FT.
TOTAL LOT AREA	48,436 SQ.FT.
PROPOSED HARDCOVER	56.0 %

LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- x999.99 DENOTES EXISTING SPOT ELEVATION
- DENOTES CONCRETE SURFACE
- - - 999 DENOTES EXISTING CONTOUR LINE
- ▨ DENOTES BITUMINOUS SURFACE
- ☁ DENOTES TREE LINE
- DENOTES DECIDUOUS TREE
- DENOTES CHAINLINK FENCE
- (M) DENOTES MEASURED DISTANCE
- (P) DENOTES PLATTED DISTANCE
- (S) DENOTES SANITARY MANHOLE
- ▣ DENOTES STORM CATCH BASIN (SQUARE)
- ← DENOTES DRAINAGE FLOW

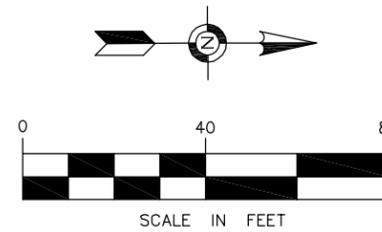
TREE SURVEY NOTES

- 1.81 TREES WERE LOCATED WITHIN THE PARCEL
- ALL TREES 4 INCHES OR LARGER IN DIAMETER WERE LOCATED AT THE CHEST LEVEL APPROXIMATELY 4.5 FEET FROM THE GROUND LEVEL
- ALL DIAMETERS WERE MEASURED IN INCHES
- THE TRUE CENTER OF THE TREES WERE LOCATED BY USING THE DISTANCE OFFSET TOOL IN DECIMAL FEET
- MULTI STEM TREES ARE DESCRIBED WITH MULTIPLE DIAMETERS FOR ONE STEM. (EXAMPLE: 12 24" MAPLE)
- TREES SPECIES WERE IDENTIFIED TO THE BEST OF OUR KNOWLEDGE. (EXAMPLE 9" OAK)
- DEAD TREES WERE LABELED AS DEAD AT THE END OF THE DESCRIPTOR TO THE BEST OF OUR ABILITY. (EXAMPLE: 12" ASH DEAD)
- REMOVE TREES WERE LABELED AS REMOVE AT THE END OF THE DESCRIPTOR TO THE BEST OF OUR ABILITY. (EXAMPLE: 12" ASH DEAD)



LANDSCAPE PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



PAROLE ID : 112922240008

LEGEND

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- 🌳 DENOTES DECIDUOUS TREE
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- (M) DENOTES MEASURED DISTANCE
- (P) DENOTES PLATTED DISTANCE
- ⊙ DENOTES SANITARY MANHOLE
- DENOTES STORM CATCH BASIN (SQUARE)
- ↔ DENOTES DRAINAGE FLOW

PROPOSED LEGEND

- DENOTES PROPOSED TOWNHOMES
- DENOTES PROPOSED BITUMINOUS DRIVEWAY
- DENOTES PROPOSED CONCRETE SIDEWALK
- DENOTES PROPOSED BITUMINOUS ROAD
- DENOTES PROPOSED CONCRETE ROAD
- ↔ DENOTES PROPOSED TRAFFIC FLOW
- ↔ DENOTES PROPOSED DRAINAGE FLOW

PROPOSED LEGEND

- ✂ DENOTES TREE TO BE REMOVED
- 🌳 DENOTES PROPOSED SWAMP WHITE OAK TREE
- 🌳 DENOTES PROPOSED SILVER MAPLE TREE
- 🌲 DENOTES PROPOSED WHITE SPRUCE TREE
- 🌲 DENOTES PROPOSED NORTHERN WHITE CEDAR TREE
- 🌳 DENOTES PROPOSED GOLDFLAME SPIREA SHRUB
- 🌸 DENOTES PROPOSED PINK REBLOOMING WEIGALA SHRUB

BUILDING SETBACKS

ZONING: LBC = LIMITED BUSINESS
 COMMERCIAL

PLANT SCHEDULE					
NO.	DESCRIPTION	QTY	COMMON NAME	BOTANICAL NAME	CONT
1	DECIDUOUS TREES				
	SWO	6	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" DIA. B/B
2	DECIDUOUS TREES				
	SM	8	SILVER MAPLE	ACER SACCHARINUM	2.5" DIA. B/B
3	CONIFEROUS TREES				
	WS	6	WHITE SPRUCE	PICEA GLAUCA	6 FT. TALL
4	CONIFEROUS TREES				
	NWC	6	NORTHERN WHITE CEDAR	THIJA OCCIDENTALIS	6 FT. TALL
5	SHRUB				
	GS	30	GOLDFLAME SPIREA	SPIRAEA BULMUDA "GOLDFLAME"	12" POT
6	SHRUB				
	FG	26	PINK REBLOOMING WEIGALA	FLORIDA BOOKRASOPIN	12" POT
	TOTAL	82			

REFERENCE BENCHMARK

ELEVATION = 945.72 (NAVD 88) MNDOT DISK "6211".

LEGAL DESCRIPTION

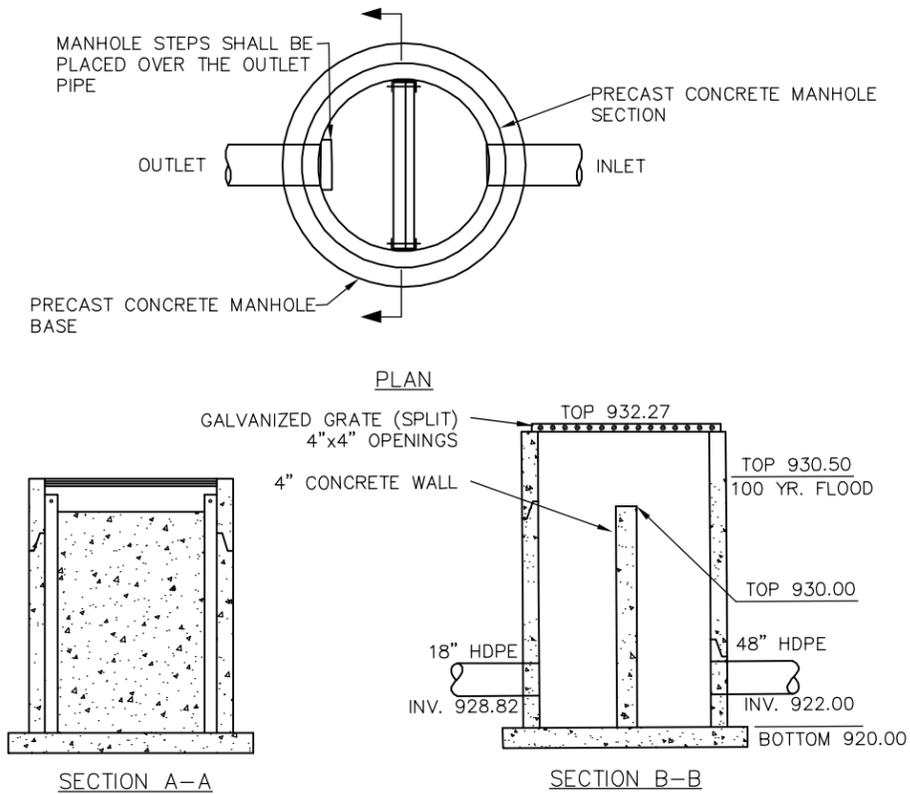
Section 11, Township 29, Range 22 except the North 278.94 feet: except the West 96.50 feet and except the East 403.00 feet of Northeast 1/4 of Southeast 1/4 of Northwest 1/4 in Section 11, Township 29, Range 22, (subject to road) Ramsey County, Minnesota, according to the recorded plat thereof.

PROPOSED HARDCOVER

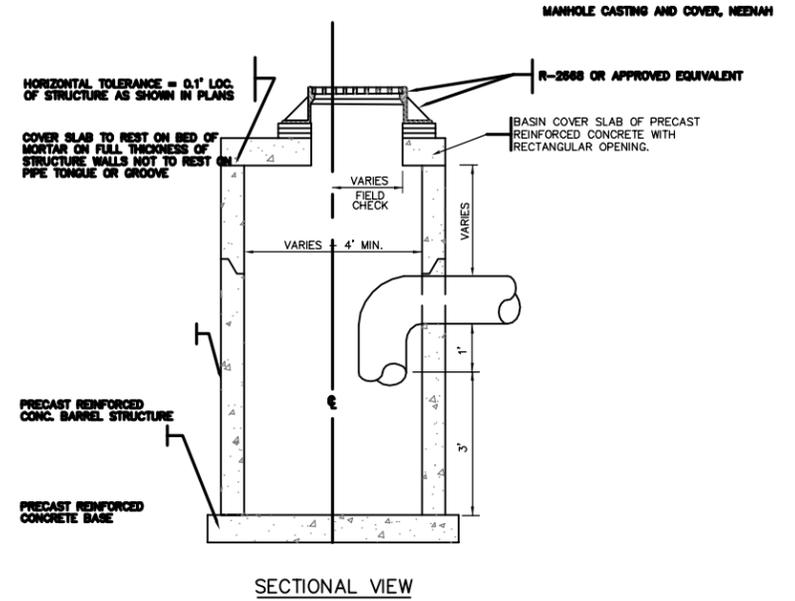
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NO.	DATE	DESCRIPTION	BY

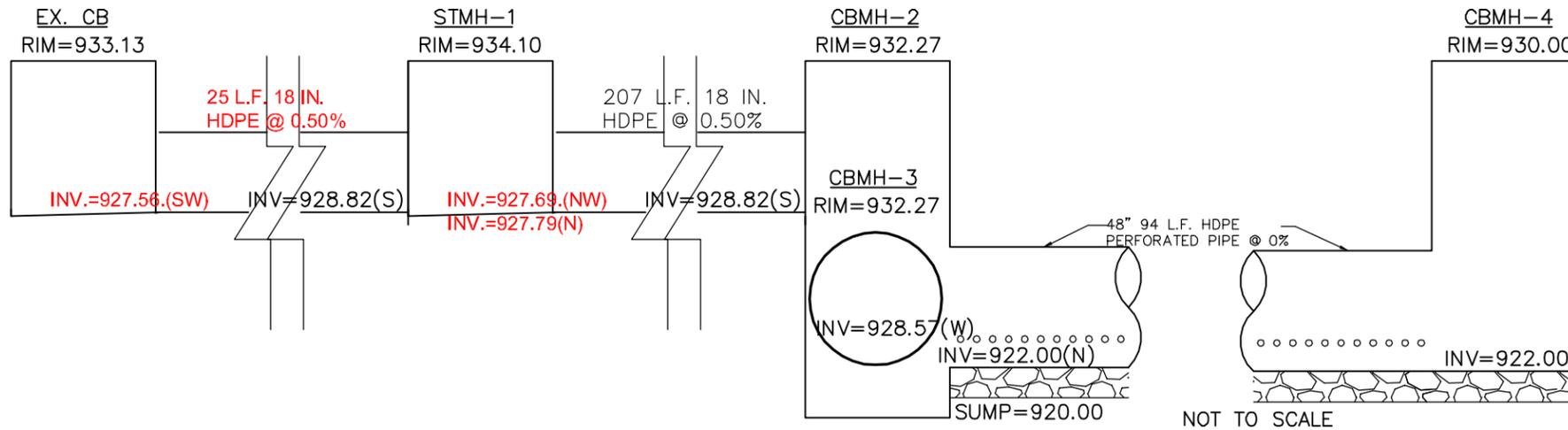
INFILTRATION TRENCH DETAILS



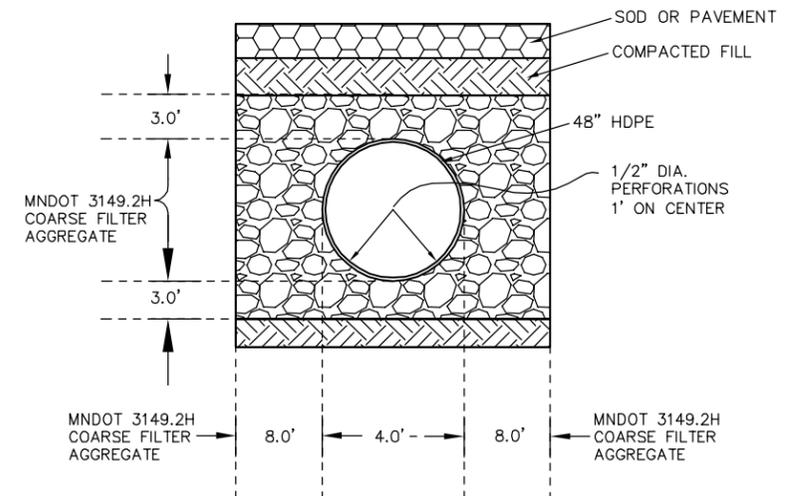
1 **C4** **OUTLET CONTROL STRUCTURE**
NOT TO SCALE



2 **C4** **SUMP CATCH BASIN**
NOT TO SCALE

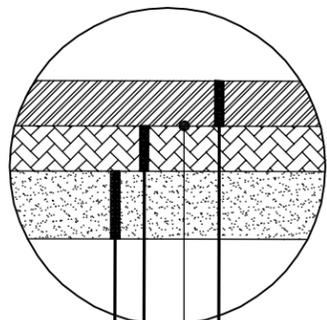


3 **C4** **INFILTRATION TRENCH PROFILE**
NOT TO SCALE



4 **C4** **INFILTRATION TRENCH DETAIL**
NOT TO SCALE

STREET, UTILITY AND EROSION CONTROL DETAILS



- 1-1/2" TYPE 42B BITUMINOUS WEARING COURSE, Mn/DOT SPEC 2331.
 - BITUMINOUS TACK COAT Mn/DOT STANDARD SPEC. 2357
 - 1-1/2" TYPE 32B BITUMINOUS BASE COURSE, Mn/DOT SPEC 2331.
 - 6" AGGREGATE BASE, CLASS 5 Mn/DOT SPEC 2211 100% CRUSHED. RECYCLED MATERIAL PERMITTED.
- PLACE ON PREPARED SELECT SUBGRADE, Mn/DOT SPEC 2112 AND 3149.2C. MODIFY TO 24" OF SUBGRADE COMPACTION FOR SOFT AREAS OR FILL ENCOUNTERED IN SUBGRADE.

NOT TO SCALE

TYPICAL SECTION FOR NORMAL TRAFFIC AND PARKING AREAS

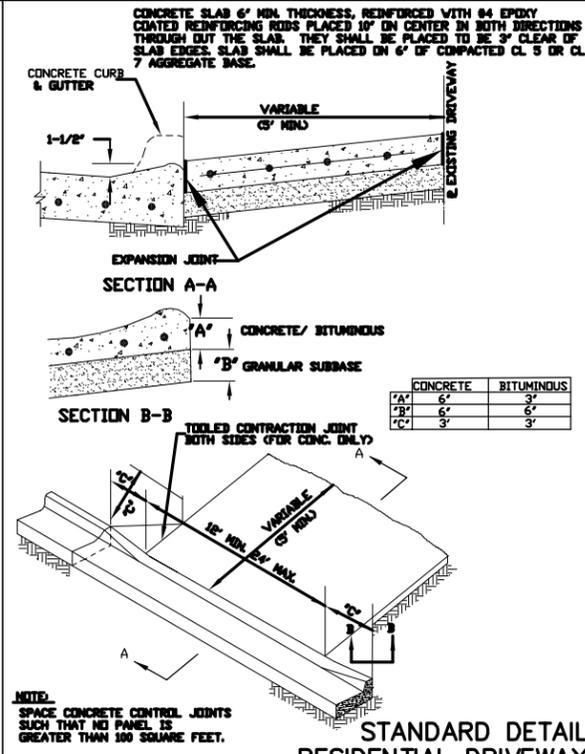
DETAIL DRAWING EDS-1



NOT TO SCALE

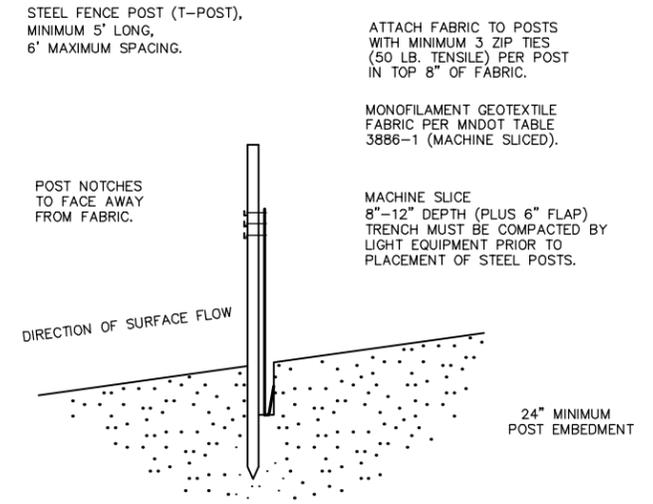
TYPICAL EROSION LOGS

DETAIL DRAWING EDS-2



STANDARD DETAILS RESIDENTIAL DRIVEWAY DETAIL

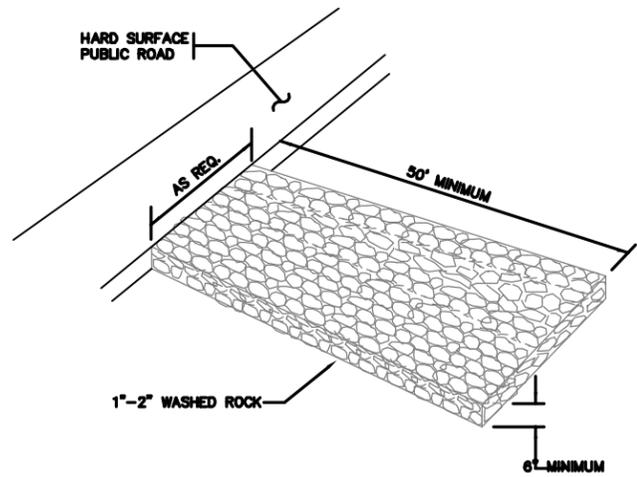
DETAIL DRAWING EDS-3



NOT TO SCALE

TYPICAL SILT FENCE CONSTRUCTION

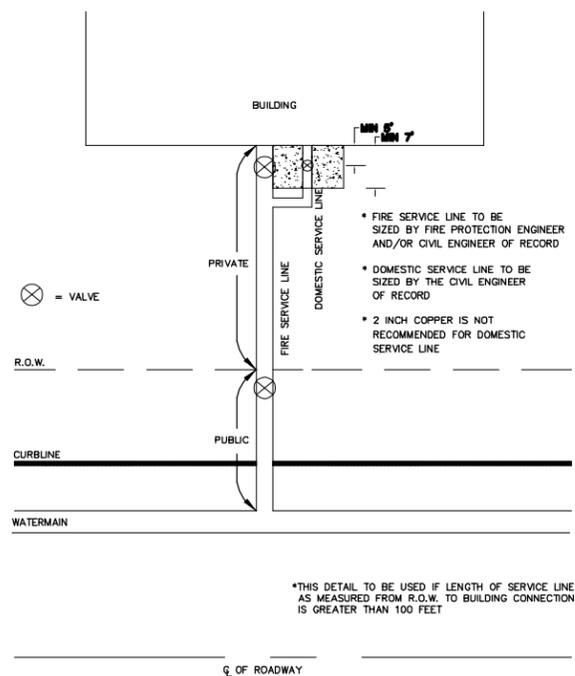
DETAIL DRAWING EDS-4



NOT TO SCALE

ROCK CONSTR. ENTRANCE

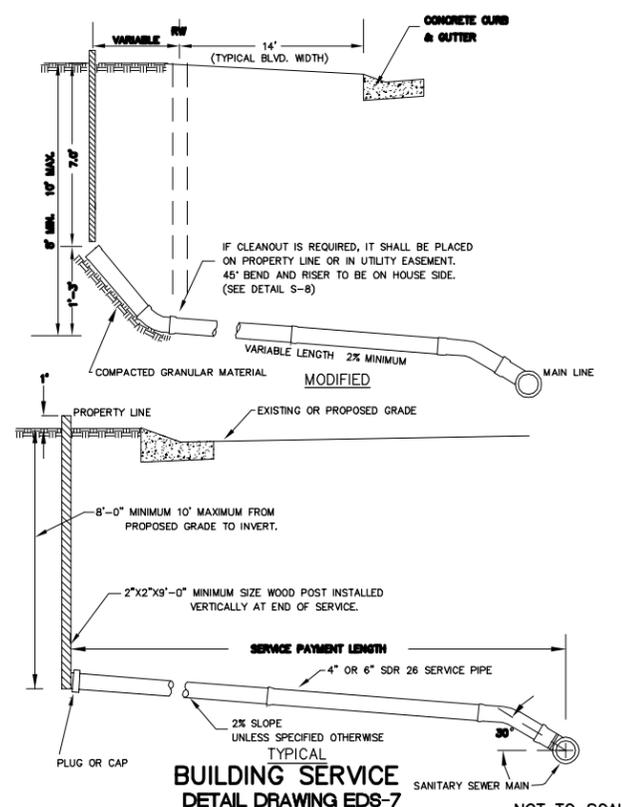
DETAIL DRAWING EDS-5



NOT TO SCALE

TYPICAL WATER SERVICE FOR STRUCTURES REQUIRING FIRE PROTECTION PLAN

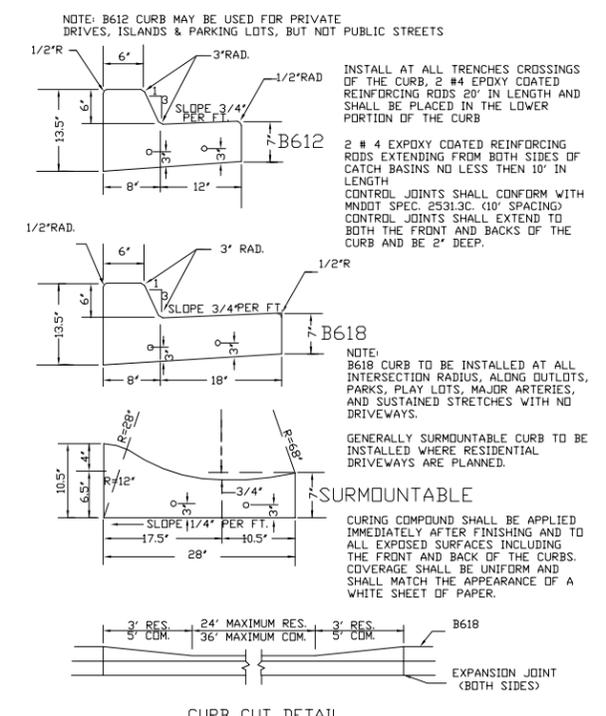
DETAIL DRAWING EDS-6



NOT TO SCALE

BUILDING SERVICE

DETAIL DRAWING EDS-7



NOT TO SCALE

CURB CUT DETAIL

DETAIL DRAWING EDS-8



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 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Vlad Sivriver
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 03/23/2023

STREET, UTILITY AND EROSION CONTROL DETAILS
 LOCATION: 0 11TH AVENUE
 MAPLEWOOD, MN 55109-5149

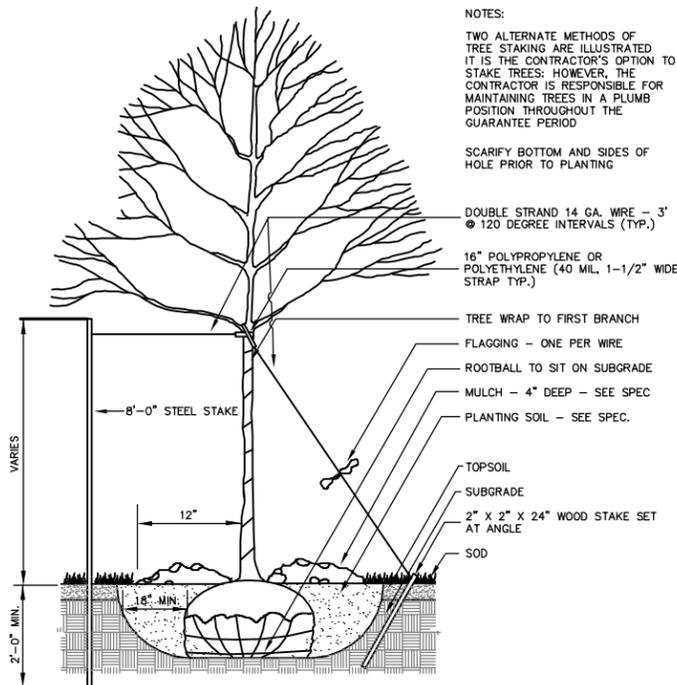
FIELD WORK DATE: 08/19/2022
 FIELD BOOK NO.: EDS-15

DRAWN BY: GST
 CHECKED BY: VS

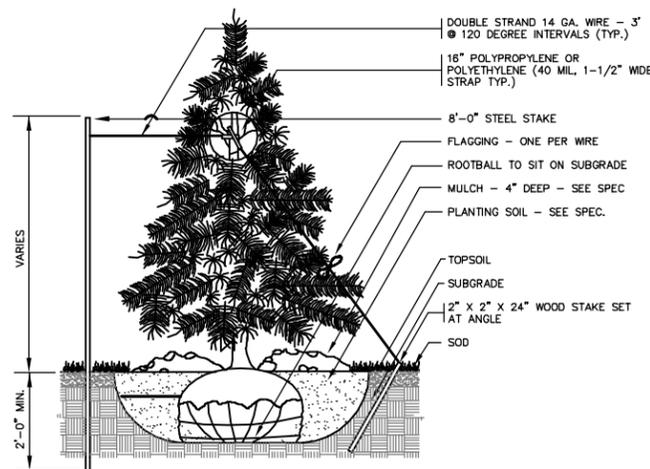
PROJECT NO.: 22-142
 SHEET NO. C12

TREE DETAILS

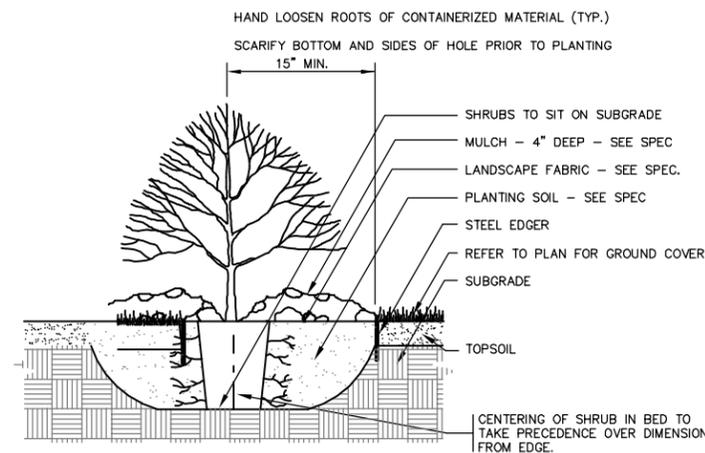
Call 48 Hours before digging
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 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



DECIDUOUS TREE
NOT TO SCALE



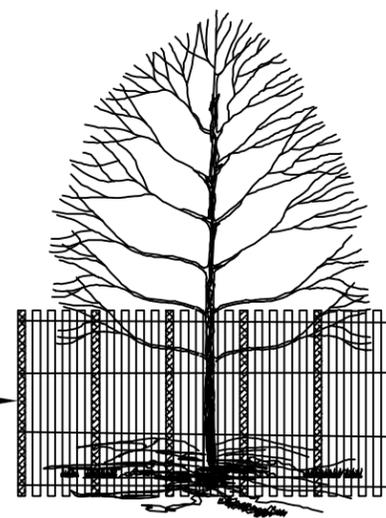
CONIFEROUS TREE
NOT TO SCALE



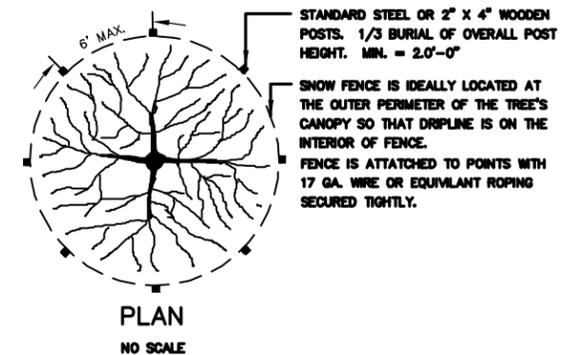
SHRUB WITH STEEL EDGER
NOT TO SCALE

NOTES:
 CONIFER TO HAVE SHREDDED HARDWOOD MULCH UNLESS NOTED OTHERWISE. NO MULCH TO BE IN CONTACT WITH TRUNK.
 SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
 TWO ALTERNATE METHODS OF TREE STAKING ARE ILLUSTRATED, IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.

STANDARD SNOW FENCE



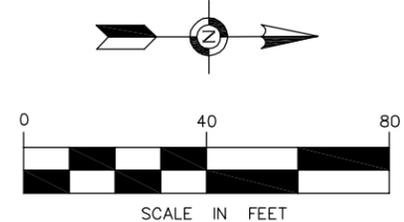
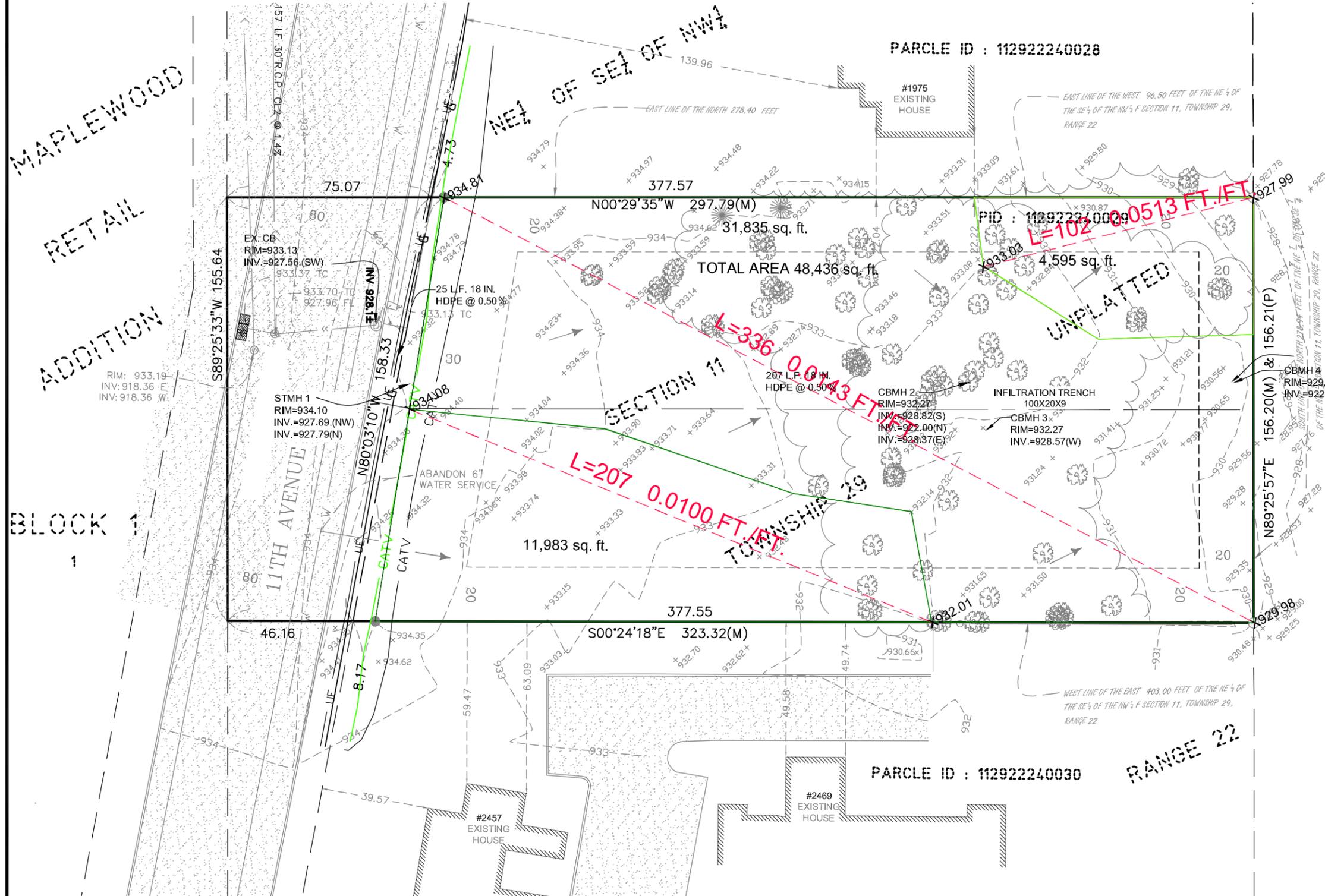
TREE FENCING
NOT TO SCALE



NO.	DATE	DESCRIPTION

EXISTING DRAINAGE AREA

Call 48 Hours before digging
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 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



- LEGEND**
- DENOTES FOUND PROPERTY IRON
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 - x999.99 DENOTES EXISTING SPOT ELEVATION
 - DENOTES CONCRETE SURFACE
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 - ▨ DENOTES BITUMINOUS SURFACE
 - DENOTES TREE LINE
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 - DENOTES CHAINLINK FENCE
 - (M) DENOTES MEASURED DISTANCE
 - (P) DENOTES PLATTED DISTANCE
 - (S) DENOTES SANITARY MANHOLE
 - ▨ DENOTES STORM CATCH BASIN (SQUARE)
 - DENOTES DRAINAGE FLOW
 - UE — DENOTES UG ELECTRIC
 - CATV — DENOTES UG CABLE COMCAST TV
 - CATV — DENOTES UG CABLE CENTURYLINK TV
 - G — DENOTES UG GAS LINE
 - >> — DENOTES STORM SEWER
 - > — DENOTES SANITARY SEWER
 - W — DENOTES WATER LINE

PARCEL ID : 112922240008

- NOTES**
1. THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
 2. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED
 3. CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS.
 4. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
 5. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.

NO.	DATE	DESCRIPTION

BUILDING SETBACKS
 ZONING: LBC = LIMITED BUSINESS COMMERCIAL

EXISTING HARDCOVER
 EXISTING IMPERVIOUS AREA 0 SQ.FT.
 TOTAL LOT AREA 58,868 SQ.FT.
 EXISTING HARDCOVER 0 %

REFERENCE BENCHMARK
 ELEVATION = 945.72 (NAVD 88) MNDOT DISK "6211".

LEGAL DESCRIPTION
 Section 11, Township 29, Range 22 except the North 278.94 feet: except the West 96.50 feet and except the East 403.00 feet of Northeast 1/4 of Southeast 1/4 of Northwest 1/4 in Section 11, Township 29, Range 22, (subject to road) Ramsey County, Minnesota, according to the recorded plat thereof.

EDS ENGINEERING DESIGN & SURVEYING
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Vlad Sivriver
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 03/23/2023

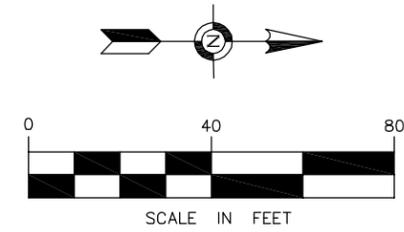
JOB NAME: **RASHAD KENNEDY**
 LOCATION: 0 11TH AVENUE
 MAPLEWOOD, MN 55109-5149

FIELD WORK DATE: 08/19/2022
 DRAWN BY: GST
 PROJECT NO.: 22-142
 FIELD BOOK NO.: EDS-15
 CHECKED BY: VS
 SHEET NO. C14

PROPOSED DRAINAGE AREA

Call 48 Hours before digging
GOPHER STATE ONE CALL

Twin Cities Area 651-454-0002
MN. Toll Free 1-800-252-1166



LEGEND

- DENOTES FOUND PROPERTY IRON
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- W — DENOTES WATER LINE

PROPOSED LEGEND

- DENOTES PROPOSED TOWNHOMES
- DENOTES PROPOSED BITUMINOUS DRIVEWAY
- DENOTES PROPOSED CONCRETE SIDEWALK
- DENOTES PROPOSED BITUMINOUS ROAD
- ← DENOTES PROPOSED TRAFFIC FLOW

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NO.	DATE	DESCRIPTION

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Vlad Sivriver
VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 03/23/2023

JOB NAME: RASHAD KENNEDY

LOCATION: 0 11TH AVENUE
MAPLEWOOD, MN 55109-5149

FIELD WORK DATE: 08/19/2022

FIELD BOOK NO.: EDS-15

DRAWN BY: GST

CHECKED BY: VS

PROJECT NO.: 22-142

SHEET NO. C15



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