

PRELIMINARY PLANS

FOR ENCLAVE MAPLEWOOD

MAPLEWOOD, MN

PREPARED FOR:
ENCLAVE DEVELOPMENT
 300 23RD AVE E, SUITE 300
 WEST FARGO, ND 58078
 CONTACT: BRIAN BOCHMAN
 PHONE: 701-212-8110
 EMAIL: BRIAN@ENCLAVECOMPANIES.COM

PREPARED BY:
Westwood
 Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-5822 Minnetonka, MN 55343
 Toll Free (888) 937-5150 westwoodps.com
 Westwood Professional Services, Inc.

PROJECT NUMBER: 0037066.00
 CONTACT: SHARI LYNN S. AHRENS



Vicinity Map
(NOT TO SCALE)

SHEET INDEX

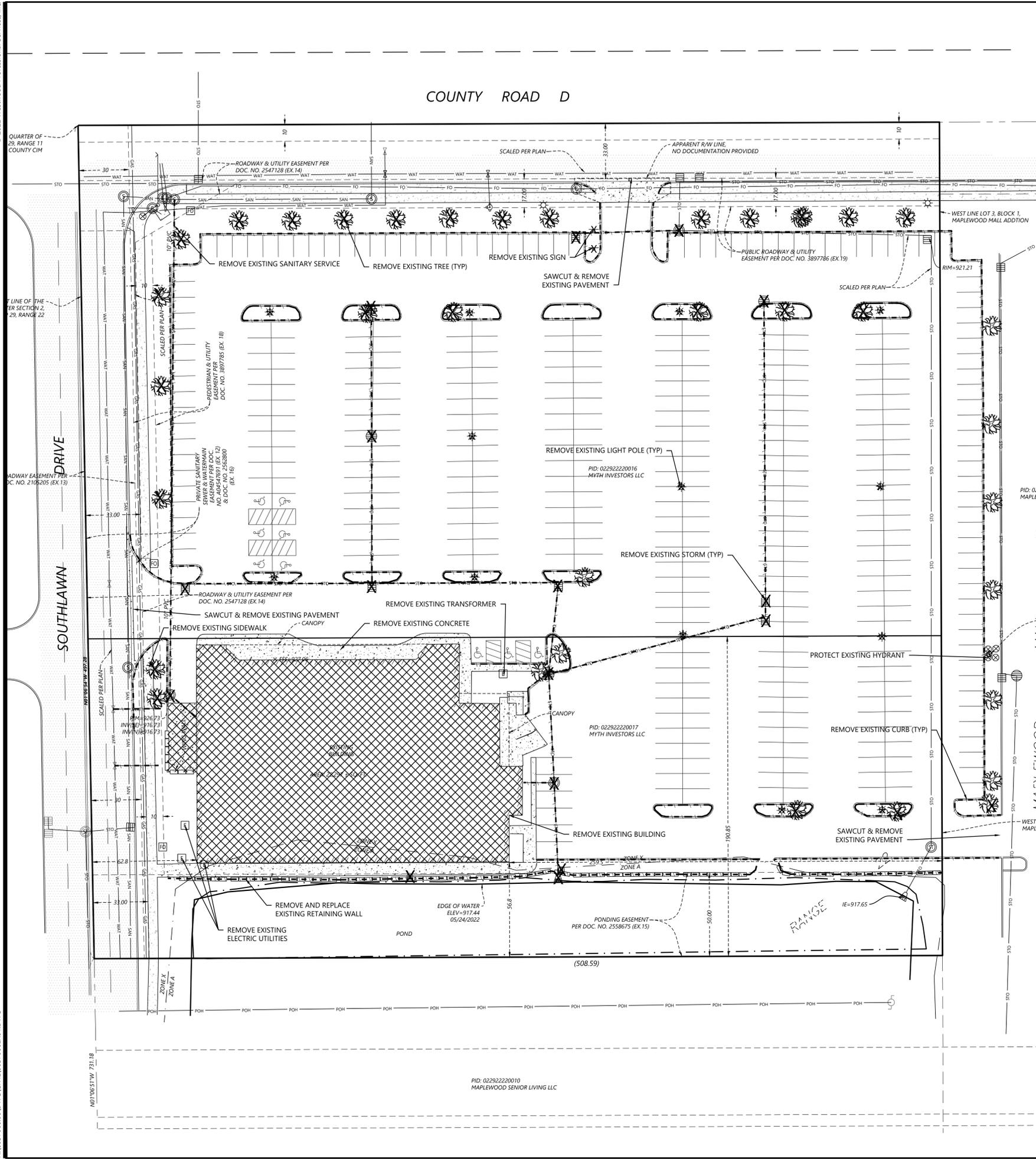
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NO.	DATE	REVISION	SHEETS

PRELIMINARY PLANS

FOR
 ENCLAVE MAPLEWOOD
 MAPLEWOOD, MN

INITIAL SUBMITTAL DATE: 09/23/2022 SHEET: C001



REMOVAL LEGEND

	PROPERTY LINE
	SAW CUT PAVEMENT
	CURB & GUTTER
	SANITARY SEWER
	WATER MAIN
	HYDRANT
	STORM SEWER
	GAS
	UNDERGROUND ELECTRIC
	OVERHEAD ELECTRIC
	UNDERGROUND TELEPHONE
	OVERHEAD TELEPHONE
	TELEPHONE FIBER OPTIC
	CABLE TELEVISION
	RETAINING WALL
	FENCE
	CONCRETE
	BITUMINOUS BUILDING
	TREE
	LIGHT POLE
	TRAFFIC SIGN
	CONSTRUCTION BARRICADE
	SOIL BORING LOCATION
	TREE LINE

REMOVAL NOTES

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
3. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

DESIGNED: _____
 CHECKED: _____
 DRAWN: _____
 HORIZONTAL SCALE: 300'
 VERTICAL SCALE: 6" OF 3'

PREPARED FOR:
ENCLAVE DEVELOPMENT
 300 23RD AVE E SUITE 300
 WEST FARGO, ND 58078

VERIFY BEFORE THAT THE PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 SHARI LYNN S. AHRENS
 DATE: 09/23/2022 LICENSE NO. _____

MAPLEWOOD ENCLAVE
 MAPLEWOOD, MN

Westwood
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 Phone Fax
 westwood@westwoodps.com
 Westwood Professional Services, Inc.

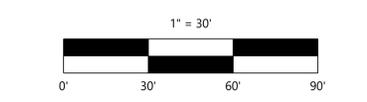
EXISTING CONDITIONS & REMOVALS PLAN

SHEET NUMBER:

C100

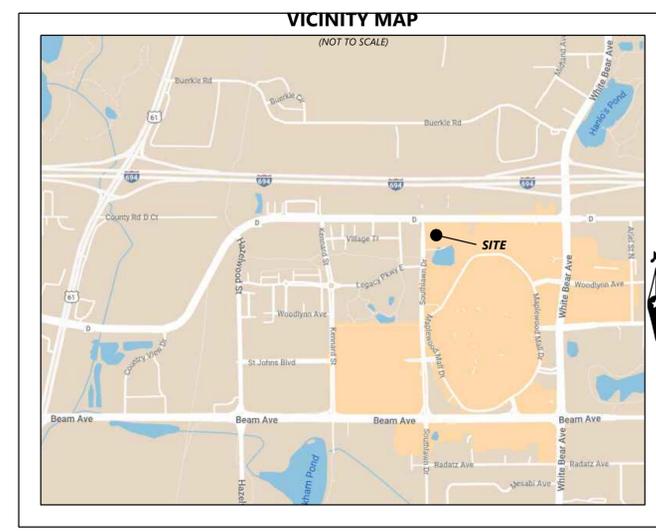
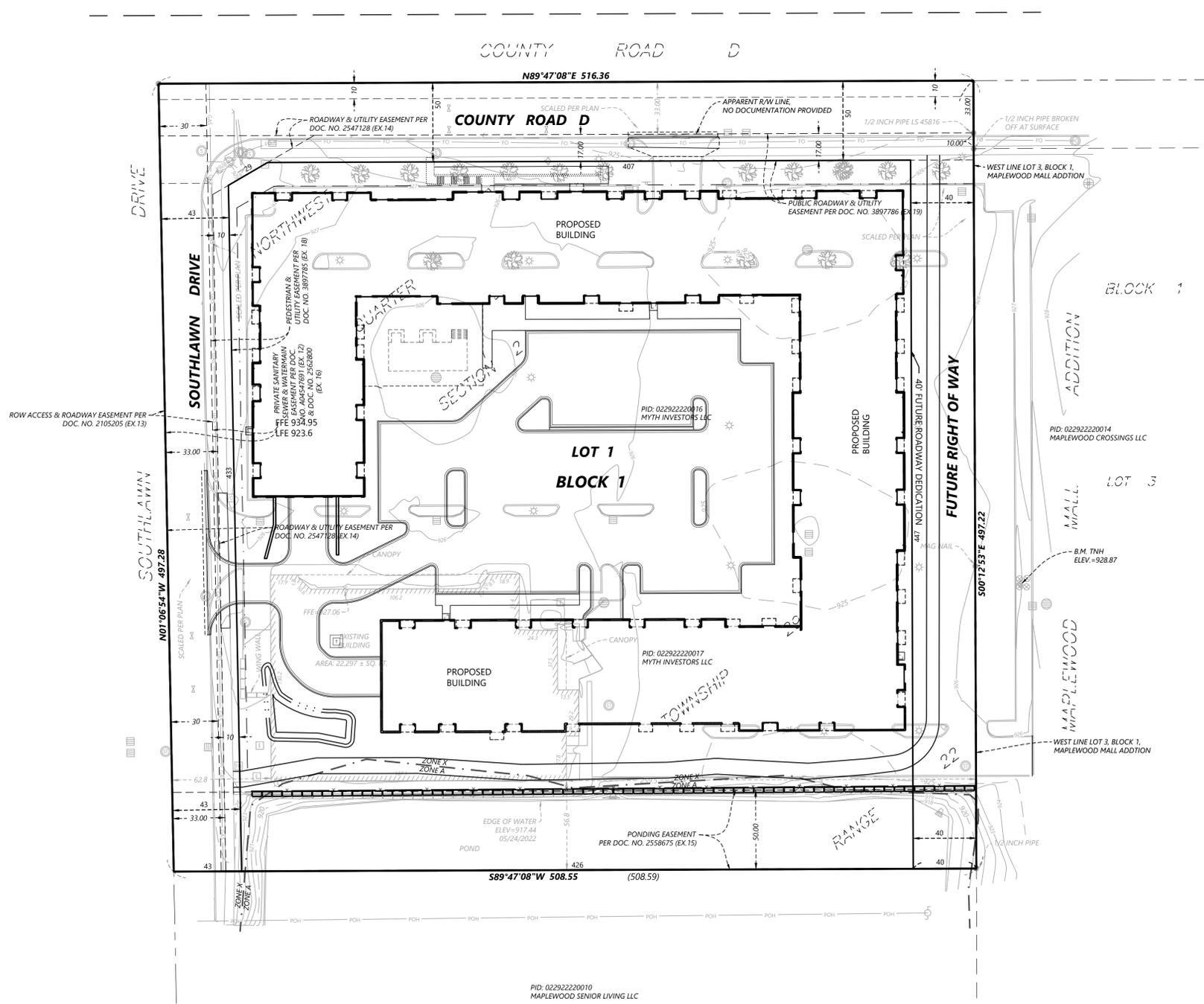
DATE: 09/23/2022

PROJECT NUMBER: 0037066.00



NOT FOR CONSTRUCTION

MAPLEWOOD ENCLAVE



Call 48 Hours before digging:
811 or call811.com
 Common Ground Alliance

PROPERTY DESCRIPTION

That part of the Northwest Quarter of Section 2, Township 29, Range 22, Ramsey County, Minnesota, lying West of Lot 3, Block 1, Maplewood Mall Addition, and lying Northerly of the following described line:
 Commencing at the Northwest corner of Lot 6, said Block 1; thence North 46 degrees 08 minutes 30 seconds East, assumed bearing, along the Northwesterly line of said Lot 6 a distance of 47.32 feet; thence Northeasterly 130.22 feet along said Northwesterly line on a tangential curve concave to the Southeast having a central angle of 5 degrees 10 minutes 06 seconds East and a radius of 1,443.54 feet; thence South 89 degrees 33 minutes 44 seconds West 132.86 feet to the West line of said Northwest Quarter; thence North 0 degrees 26 minutes 16 seconds West along said West line 731.18 feet to the point of beginning of the line to be herein described; thence South 89 degrees 32 minutes 06 seconds East parallel with the North line of said Northwest Quarter 508.59 feet to the West line of said Lot 3 and there terminating.
 Ramsey County, Minnesota
 Abstract Property

ENGINEER AND SURVEYOR

Westwood Professional Services, Inc.
 12701 Whitewater Drive, Suite 300,
 Minnetonka, Minnesota 55343
 Phone 952-937-5150

SITE LEGEND

- PROPERTY LINE
- - - - - EASEMENT LINE
- PROPOSED RIGHT OF WAY LINE

SITE DATA CHART

LEGAL DESCRIPTION	LOT AREA (ACRE)
LOT 1, BLOCK 1	4.401 AC.
FUTURE R/W	1.448 AC.
TOTAL	5.849 AC.

DESIGNED: _____
 CHECKED: _____
 DRAWN: _____
 HORIZONTAL SCALE: 1"=100'
 VERTICAL SCALE: 1"=40'

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 MAPLEWOOD, MN

Westwood
 (952) 937-5150 12701 Whitewater Drive, Suite 300
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 Phone Fax Email westwood@westwoodps.com
 Westwood Professional Services, Inc.

PRELIMINARY PLAT

SHEET NUMBER:

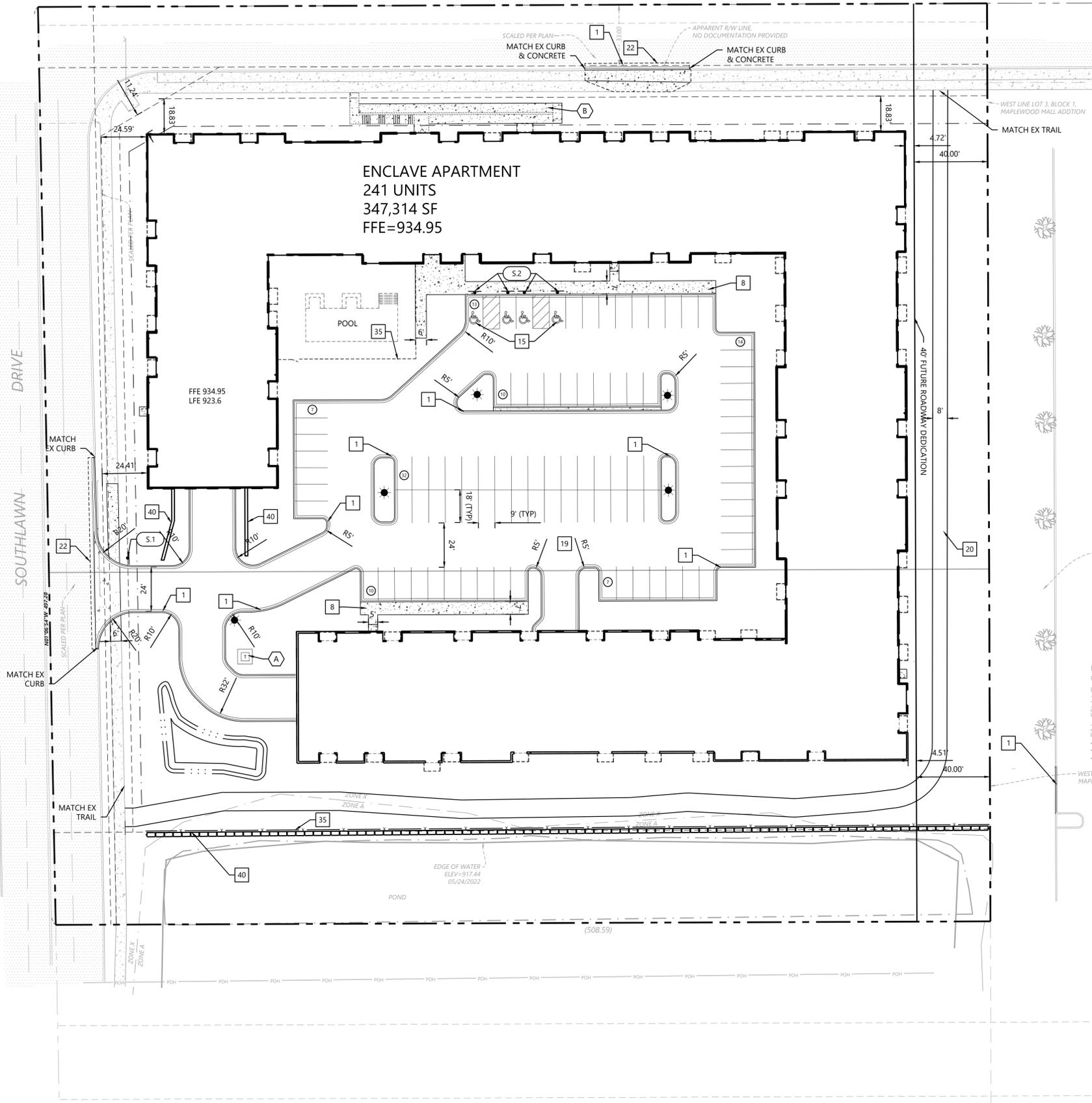
C101

DATE: 09/23/2022

PROJECT NUMBER: 0037066.00

MAPLEWOOD ENCLAVE

COUNTY ROAD D



ENCLAVE APARTMENT
241 UNITS
347,314 SF
FFE=934.95

FFE 934.95
LFE 923.6

EDGE OF WATER
ELEV=917.44
05/24/2022

1 SITE DETAILS (SI-0XX)

- 1 B612 CURB AND GUTTER
- 8 PRIVATE CONCRETE SIDEWALK
- 13 TRAFFIC ARROW
- 15 HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- 18 BOLLARD
- 19 PAVEMENT SECTIONS
- 20 BITUMINOUS TRAIL
- 22 SAW CUT CONTROL JOINT
- 35 ORNAMENTAL FENCE
- 40 MODULAR BLOCK RETAINING WALL

1 SITE KEY NOTES

- A TRANSFORMER PAD
- B SIDEWALK RAMP AND STAIR

SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		HEAVY DUTY BITUMINOUS PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

GENERAL SITE NOTES

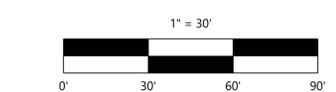
- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN, 05/26/2022.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

SITE DEVELOPMENT SUMMARY

EXISTING ZONING:	BC, BUSINESS COMMERCIAL
PROPOSED ZONING:	R3-B, RESIDENCE DISTRICT
PARCEL DESCRIPTION:	LOT 1, BLOCK 1, ENCLAVE ADDITION
PROPERTY AREA:	254,803 SF (5.85 AC)
BUILDING GROSS SIZE:	347,314 SF
BUILDING SETBACK PER CODE:	15'-30"=MAJOR COLLECTOR 10'-25"=LOCAL CONNECTOR 5'-10"=REAR (NEIGHBORHOOD MAIN STREET)
PARKING SETBACK:	15'=FRONT AND ROW 5'=SIDE AND REAR
PARKING SPACE/DRIVE AISLE:	9.5' WIDE X 18' LONG, 24' AISLE
PARKING REQUIRED (CITY OF MAPLEWOOD):	MIN 1 STALL PER UNIT/MAX 2.5 STALL PER UNIT
PARKING PROVIDED:	260 ENCLOSED 93 SURFACE 353 TOTAL

S10 SIGN LEGEND

REFERENCE	SIZE	MNDOT DESIGNATION
S.1 STOP SIGN	30" X 30"	R1-1
S.2 HANDICAP ACCESSIBLE	12" X 18"	R7-8M



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Westwood
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SITE PLAN

SHEET NUMBER:

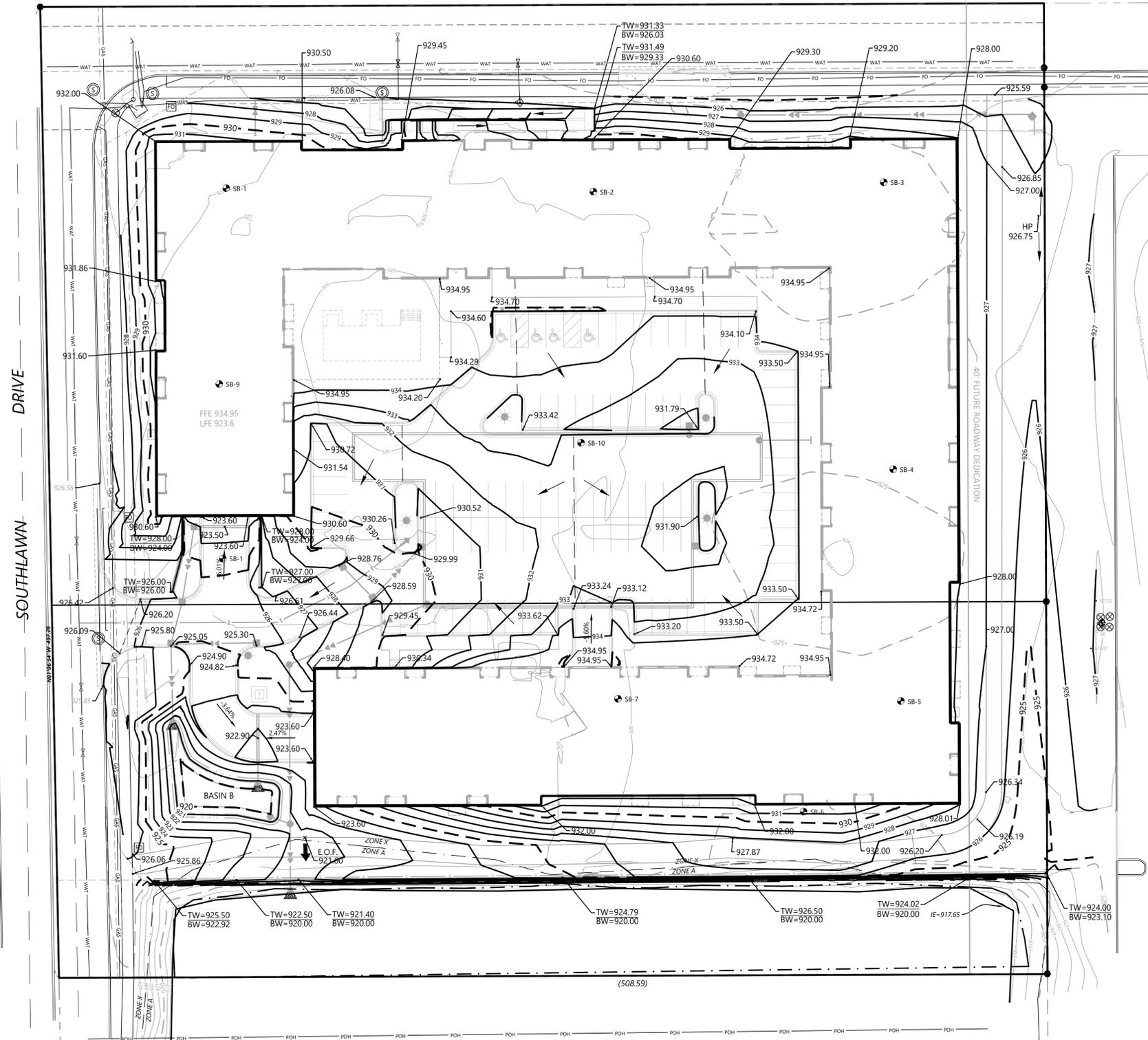
C200

DATE: 09/23/2022

PROJECT NUMBER: 00370666.00

MAPLEWOOD ENCLAVE

COUNTY ROAD D



GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TW=XXX.XX BW=XXX.XX
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERTFLOW
		SOIL BORING LOCATION

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



1" = 30'



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GRADING PLAN

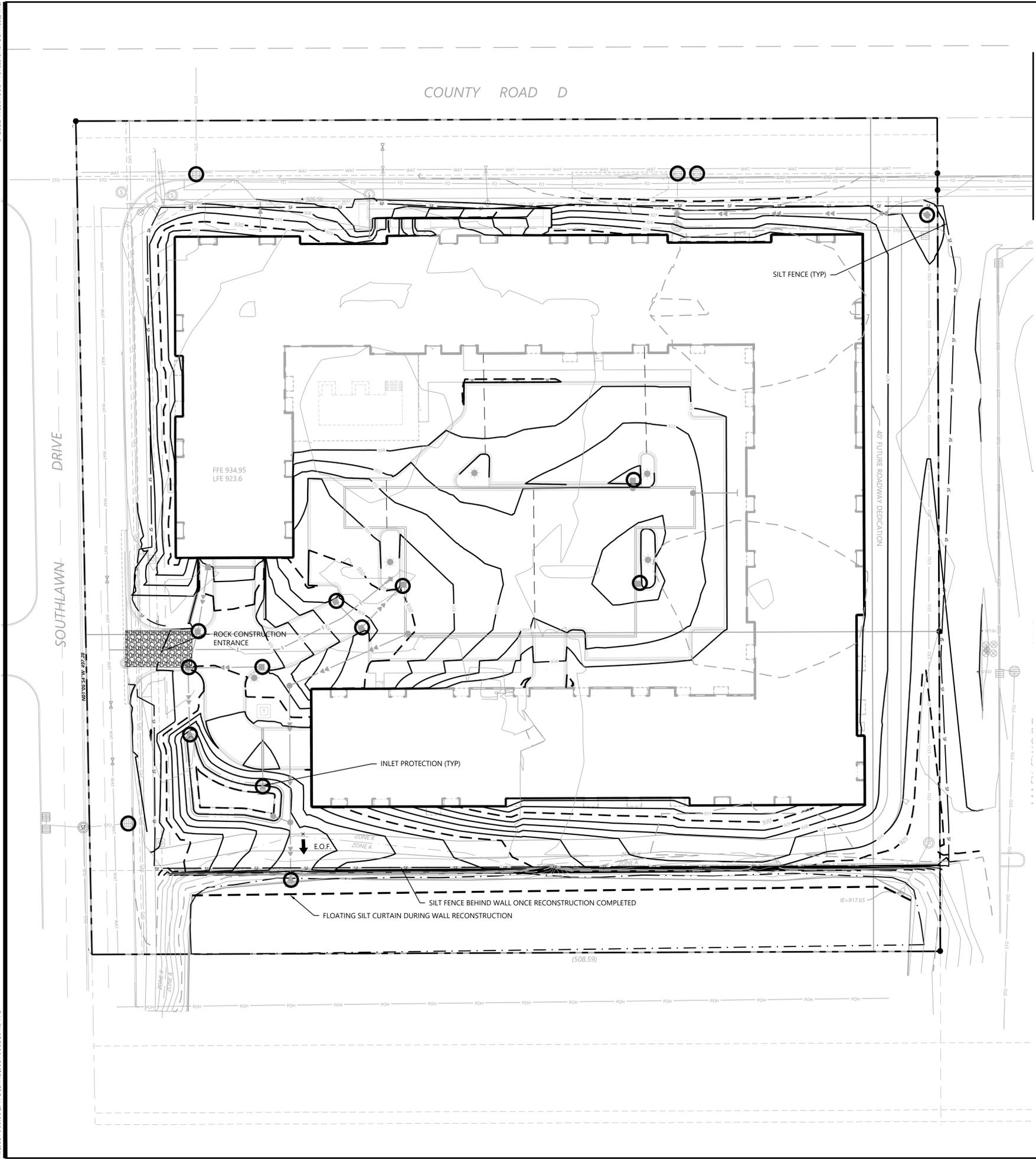
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C300

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MAPLEWOOD ENCLAVE

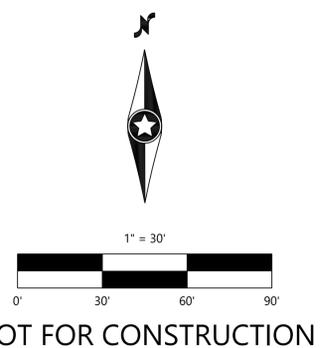


EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		HEAVY DUTY SILT FENCE
		FLOATING SILT CURTAIN
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		GRADING LIMITS
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION
		INLET PROTECTION

GENERAL EROSION CONTROL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
3. EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
4. ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
5. PROPOSED PONDS SHALL BE EXCAVATED FIRST AND USED AS TEMPORARY PONDING DURING CONSTRUCTION.
6. WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
7. ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
8. THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
 - A. TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 22-111 AT 30.5-POUNDS PER ACRE.
 - B. TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE.
 - C. INFILTRATION/FILTRATION BASIN SHALL BE MNDOT SEED MIX 34-262 AT 14.5-POUNDS PER ACRE.
 - D. POND SLOPES SHALL BE MNDOT SEED MIX 33-261 AT 35-POUNDS PER ACRE.
 - E. GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
 - F. MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
9. FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
10. ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
11. ALL PERMANENT PONDS USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE DREDGED AFTER THE SITE HAS BEEN STABILIZED TO RESTORE THE POND TO THE PROPOSED BOTTOM ELEVATION.
12. ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
13. THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.
14. PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE CONCURRENT WITH SITE WORK.



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VERTICAL SCALE:	6" OF 3'

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300 23RD AVE E. SUITE 300
WEST FARGO, ND 58078

WE HEREBY CERTIFY THAT THE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
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Westwood Professional Services, Inc.

EROSION CONTROL PLAN

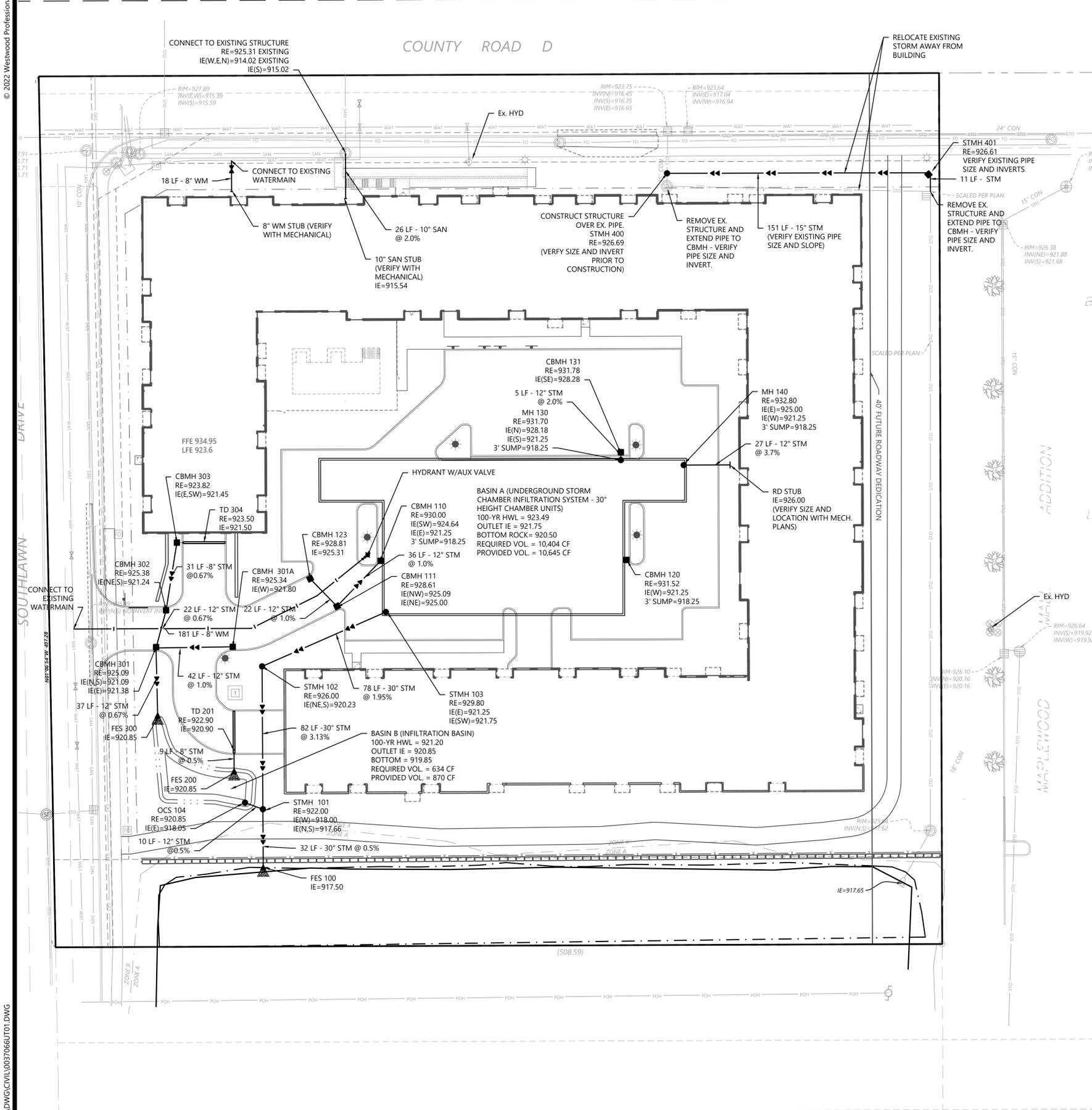
SHEET NUMBER:

C400

DATE: 09/23/2022

PROJECT NUMBER: 0037066.00

MAPLEWOOD ENCLAVE

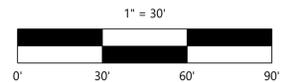


UTILITY LEGEND

EXISTING	PROPOSED	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	SANITARY SEWER FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	LIGHT POLE

GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER, THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10- FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 7.5' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
 - HDPE STORM PIPE 4- TO 10- INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60- INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120- INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10- FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.



NOT FOR CONSTRUCTION

DESIGNED: [blank]
CHECKED: [blank]
DRAWN: [blank]
HORIZONTAL SCALE: 30'
VERTICAL SCALE: [blank]

INITIAL ISSUE: 09/23/2022
REVISIONS: [blank]
PREPARED FOR: ENCLAVE DEVELOPMENT
300.23RD AVE E. SUITE 300
WEST FARGO, ND 58078

VERIFY PERMITS: THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
SHARI LYNN S. AHRENS
DATE: 09/23/2022 LICENSE NO. [blank]

MAPLEWOOD ENCLAVE
MAPLEWOOD, MN

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Minnetonka, MN 55343
Phone: (952) 837-5100
Fax: (952) 837-5022
www.westwoodps.com
Westwood Professional Services, Inc.

UTILITY PLAN

SHEET NUMBER:

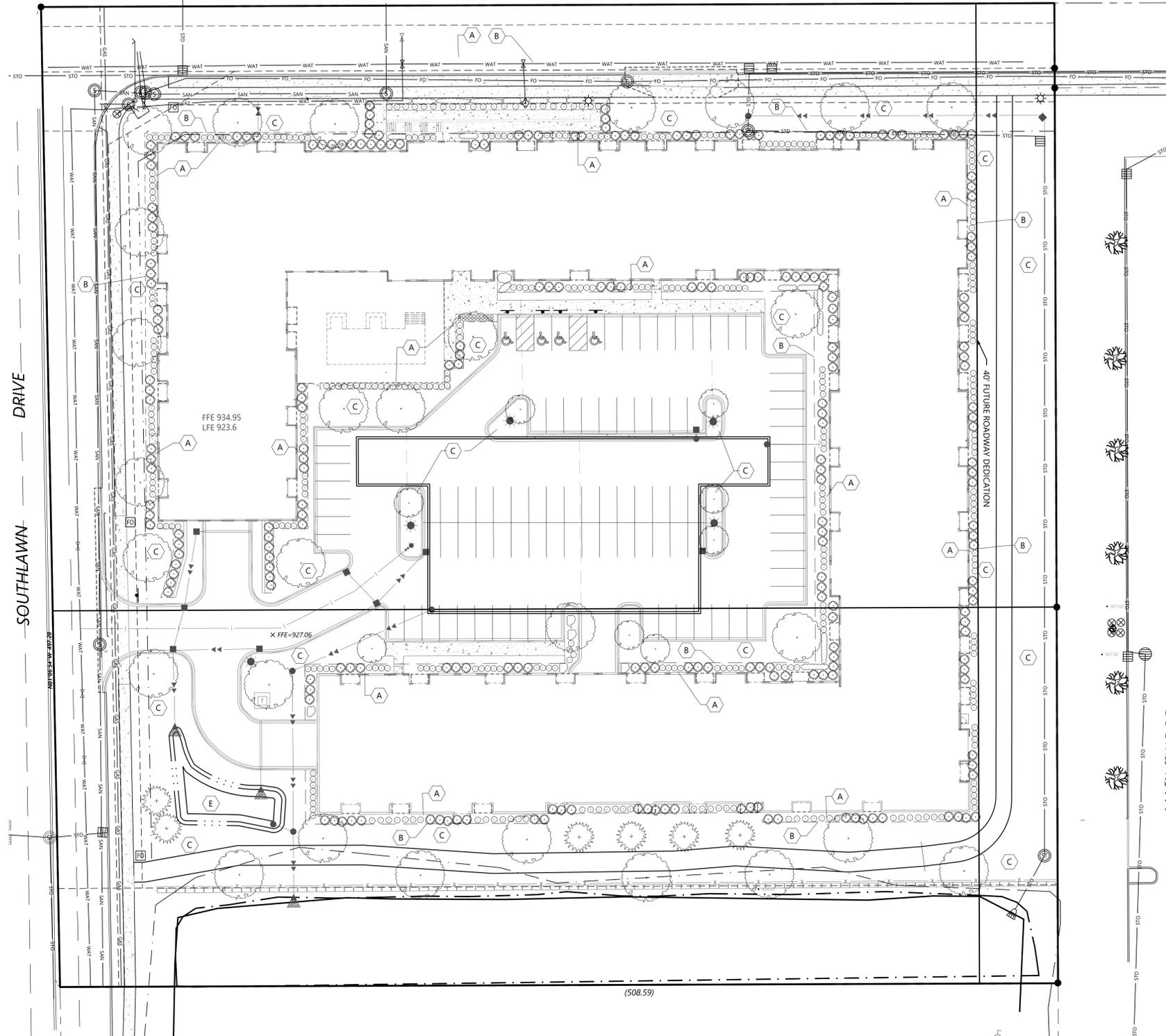
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DATE: 09/23/2022

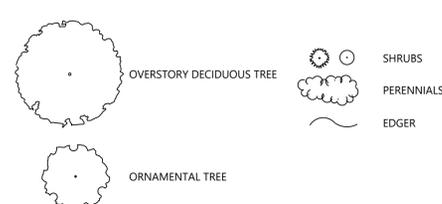
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MAPLEWOOD ENCLAVE

COUNTY ROAD D



LANDSCAPE LEGEND



LANDSCAPE KEYNOTES

- A SHREDDED HARDWOOD MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP.)
- D ROCK MULCH
- E RAIN GARDEN SEED MIX

PLANT SCHEDULE

CODE	QTY	COMMON	BOTANICAL NAME	SIZE	ROOT	SPACING	REMARKS
OVERSTORY TREE 28							
SGM	--	SIENNA GLEN MAPLE	ACER X FREEMANII 'SIENNA'	3.5" CAL	B&B	AS SHOWN	SINGLE
NWM	--	NORTHWOOD MAPLE	ACER RUBRUM 'NORTHWOOD'	2.5" CAL	B&B	AS SHOWN	SINGLE
WSB	--	WHITESPIRE BIRCH	BETULA POPULIFOLIA 'WHITESPIRE'	3.5" CAL	B&B	AS SHOWN	SINGLE
IMH	--	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS 'IMPCOLE'	3.5" CAL	B&B	AS SHOWN	SINGLE
NPO	--	NORTHERN PIN OAK	QUERCUS ELLIPSOIDALIS	2.5" CAL	B&B	AS SHOWN	SINGLE
SWO	--	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL	B&B	AS SHOWN	SINGLE
CHB	--	HACKBERRY	CELTIS OCCIDENTALIS	2.5" CAL	B&B	AS SHOWN	SINGLE
BOL	--	BOULEVARD LINDEN	TILIA AMERICANA 'BOULEVARD'	2.5" CAL	B&B	AS SHOWN	SINGLE
ORNAMENTAL TREE 8							
TCH	--	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUSGALLI 'INERMIS'	1.5" CAL	B&B	AS SHOWN	SINGLE
JTL	--	JAPANESE TREE LILAC	SYRINGA RETICULATA	1.5" CAL	B&B	AS SHOWN	CLUMP
SSC	--	SPRING SNOW CRAB	MALUS 'SPRING SNOW'	1.5" CAL	B&B	AS SHOWN	SINGLE
CONIFEROUS TREE 6							
BHS	--	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6' HT.	B&B	AS SHOWN	FULL
WHP	--	WHITE PINE	PINUS STROBUS	6' HT.	B&B	AS SHOWN	FULL
CONIFEROUS SHRUB 234							
BNS	--	BIRD'S NEST SPRUCE	PICEA ABIES 'NIDIFORMIS'	5'-0" O.C.	#5 CONT.	X'-X" O.C.	--
HZA	--	HETZ MIDGET ARBORVITAE	THUJA OCCIDENTALIS 'HETZ MIDGET'	3'-0" O.C.	#5 CONT.	X'-X" O.C.	--
HMA	--	HOLMSTRUP ARBORVITAE	THUJA OCCIDENTALIS 'HOLMSTRUP'	3'-0" O.C.	#5 CONT.	X'-X" O.C.	--
MJJ	--	MINT JULEP JUNIPER	JUNIPERUS CHINENSIS 'MONLEP'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
MUP	--	MUGO PINE	PINUS MUGO PUMILIO	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
TAY	--	TAUNTON YEW	TAXUS MEDII 'TAUNTON'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
DECIDUOUS SHRUB 343							
NFS	--	NEON FLASH SPIREA	SPIRAEA JAPONICA 'NEON FLASH'	3'-0" O.C.	#5 CONT.	X'-X" O.C.	--
HEC	--	HEDGE COTONEASTER	COTONEASTER LUCIDUS	3'-0" O.C.	#5 CONT.	X'-X" O.C.	--
DBH	--	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	3'-0" O.C.	#5 CONT.	X'-X" O.C.	--
SMS	--	SNOWMOUND SPIREA	SPIRAEA NIPPONICA 'SNOWMOUND'	3'-0" O.C.	#5 CONT.	X'-X" O.C.	--
MWG	--	MINUET WEIGELA	WEIGELA FLORIDA 'MINUET'	3'-0" O.C.	#5 CONT.	X'-X" O.C.	--
ANH	--	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
AJN	--	AMBER JUBILEE NINEBARK	PHYSCARPUS OPULIFOLIUS 'JEFAM'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
DGN	--	DART'S GOLD NINEBARK	PHYSCARPUS OPULIFOLIUS 'DART'S GOLD'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
RGD	--	RED GNOME DOGWOOD	CORNUS ALBA SIBIRICA	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
BLC	--	BLACK CHOKEBERRY	ARONIA MELANOCARPA	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
PERENNIALS 300							
ASD	--	APRICOT SPARKLES DAYLILY	HEMEROCALLIS 'APRICOT SPARKLES'	12" O.C.	#1 CONT.	X" O.C.	--
BID	--	BAJA DAYLILY	HEMEROCALLIS 'BAJA'	18" O.C.	#1 CONT.	X" O.C.	--
ICD	--	ICE CARNIVAL DAYLILY	HEMEROCALLIS 'ICE CARNIVAL'	18" O.C.	#1 CONT.	X" O.C.	--
BES	--	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	16" O.C.	#1 CONT.	X" O.C.	--
WBA	--	WOODS BLUE ASTER	ASTER 'WOODS BLUE'	12" O.C.	#1 CONT.	X" O.C.	--
AAA	--	ALERT ASTER	ASTER NOWI-BELGII 'ALERT'	12" O.C.	#1 CONT.	X" O.C.	--
VRA	--	VISIONS IN RED ASTILBE	ASTILBE CHINENSIS 'VISIONS'	12" O.C.	#1 CONT.	X" O.C.	--
STL	--	STARGAZER LILY	LILIUM 'STARGAZER'	12" O.C.	#1 CONT.	X" O.C.	--
PUC	--	PURPLE CONEFLOWER	ECHINACEA PURPUREA 'MAGNA'	18" O.C.	#1 CONT.	X" O.C.	--
PWW	--	POW WOW WILDBERRY ECHINACEA	ECHINACEA PURPUREA 'POW WOW WILDBERRY'	18" O.C.	#1 CONT.	X" O.C.	--
SWE	--	WHITE SWAN ECHINACEA	ECHINACEA PURPUREA 'WHITE SWAN'	18" O.C.	#1 CONT.	X" O.C.	--
RUS	--	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	18" O.C.	#1 CONT.	X" O.C.	--
AJS	--	AUTUMN JOY SEDUM	SEDUM X 'AUTUMN JOY'	18" O.C.	#1 CONT.	X" O.C.	--
AFS	--	AUTUMN FIRE SEDUM	SEDUM X 'AUTUMN FIRE'	18" O.C.	#1 CONT.	X" O.C.	--
BLB	--	BLAZE LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	18" O.C.	#1 CONT.	X" O.C.	--
KFG	--	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	24" O.C.	#1 CONT.	X" O.C.	--
RSG	--	RED SWITCH GRASS	PANICUM VIRGATUM 'SHENANDOAH'	24" O.C.	#1 CONT.	X" O.C.	--
MFG	--	MISCANTHUS FLAME GRASS	MISCANTHUS SINENSIS 'PURPURASCENS'	18" O.C.	#1 CONT.	X" O.C.	--
PDS	--	PRAIRIE DROPSEED GRASS	SPOROBOLUS HETEROLEPIS	18" O.C.	#1 CONT.	X" O.C.	--

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER
 NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

Call 48 Hours before digging:
 811 or call811.com
 Common Ground Alliance

DESIGNED: _____
 CHECKED: _____
 DRAWN: _____
 INITIAL ISSUE: 09/23/2022
 REVISIONS: _____

PREPARED FOR:
ENCLAVE DEVELOPMENT
 300 23RD AVE E. SUITE 300
 WEST FARGO, ND 58078

VERIFY PERMITS THAT THE PLAN WAS PREPARED BY THE
 ONLY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS
 OF THE STATE OF MINNESOTA
 SHARI LYNN S. AHRENS
 DATE: 09/23/2022 LICENSE NO. _____

MAPLEWOOD ENCLAVE
 MAPLEWOOD, MN

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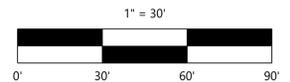
LANDSCAPE PLAN

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